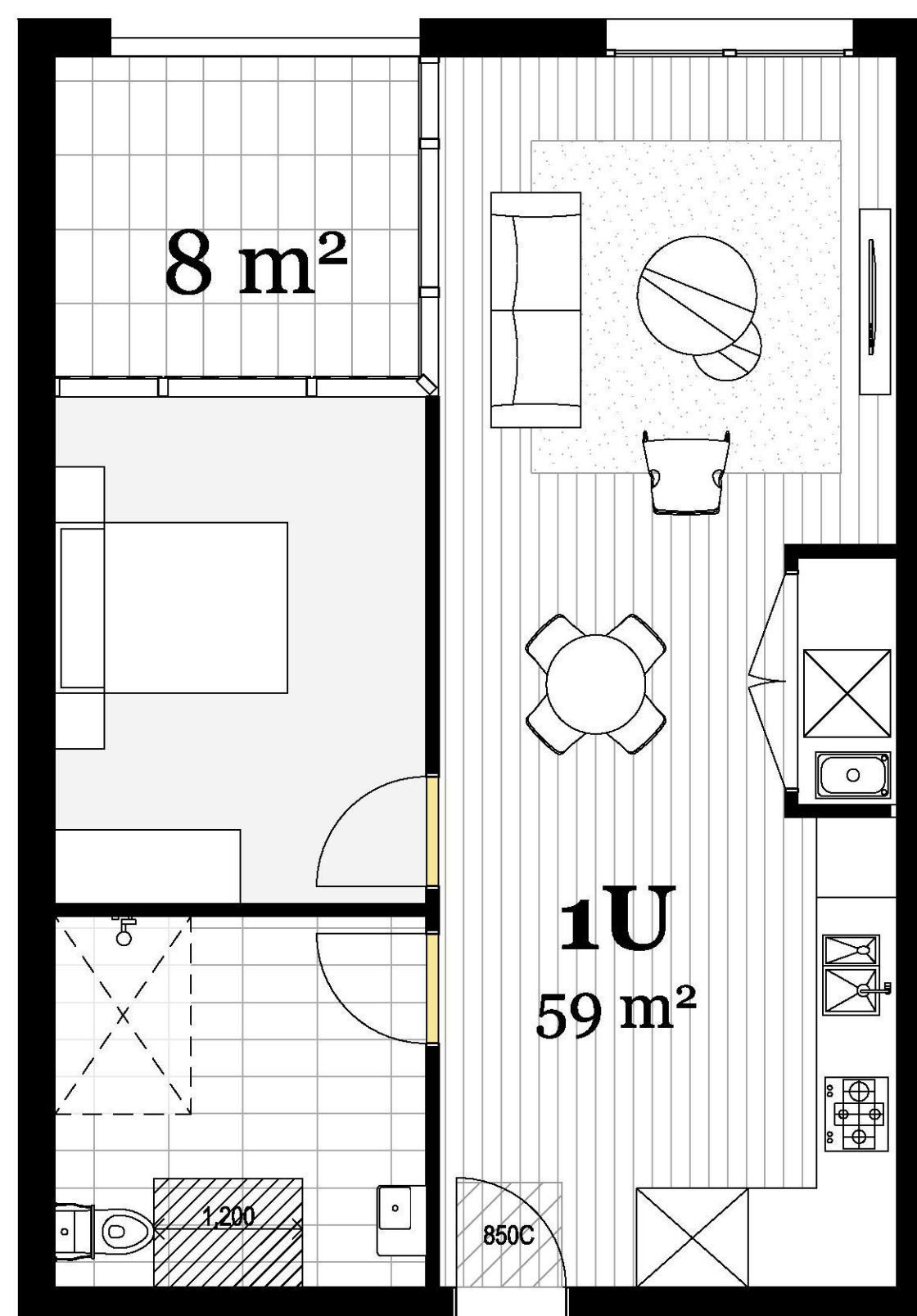
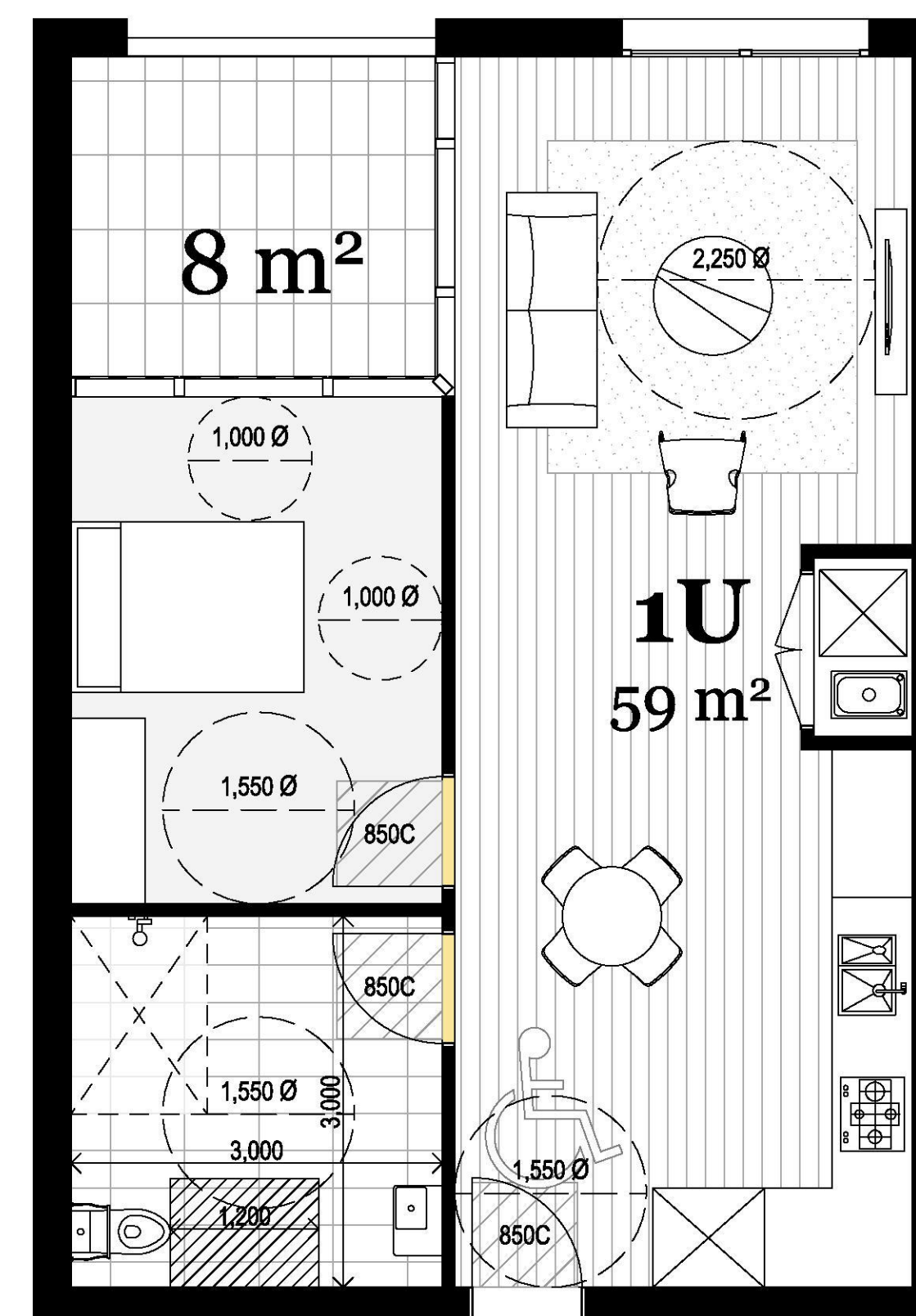


## Adaptable Unit Specifications

- All Doors in residential common use areas and commercial use areas:**
- All single hinged doors and in case of multiple leaf doorways, at least 1 operable leaf is required to provide a clear opening of 850mm with the door circulations spaces as per AS1428.1-2009.
  - When using sliding doors, flush transition is required so provide fully recessed floor tracks. Also all sliding doors to have 510mm minimum available to latch side of the sliding door to enable access to door handle.
  - All fully glazed areas to have glazing strips. The marking should be for the full width with a solid and non-transparent 75mm wide, contrasting line located 900-1000mm above FFL and provide a minimum luminance contrast of 30% when viewed against the floor surface within 2M of the glazing on the opposite end. Graphical representation or cut-outs are not permitted.
  - All doorways to have a minimum luminance contrast of 30% provided between, Door leaf and door jamb or Door leaf and adjacent wall or Architrave and wall or Door leaf and architrave or Door jamb and adjacent wall. The minimum width of the luminance contrast to be 50mm.
  - All external doorways to have a max drop of 35mm at threshold when used in combination with a doorway threshold ramp of 1:8 grade within 20mm of the door leaf.
- Door hardware requirements in residential common use areas and commercial use areas:**
- D shaped door handles to be used, located at 900-1100mm above FFL
  - Clearance between the handle and the back plate or the door face at the centre grip section of the handle to be between 35-45mm with a minimum of 20mm turn at the end of the handle
- All stairways require the following:**
- All stairways to be compliant with: AS1428.1-2009, including but not limited to opaque risers, with 1M clear space (handrail / wall)
  - Each tread to have a nosing strip between 50mm-75mm for the full width of the stair, which can be setback for a maximum of 15mm from the front of the nosing. This strip is to have a minimum luminance contrast of 30% to the background and to comply with any change in level requirements if attached on the treads.
  - Handrails to be located between 865mm-1000mm above FFL, with no vertical sections. Diameter of handrails to be between 30mm-50mm and located not less than 50mm from adjacent walls with no obstructions to top 270° arc.
  - Slip resistance to also comply with BCA Table D2.14 when tested in accordance with AS4586. For treads and landings, slip resistance of R11 / P4 and for nosing strips slip resistance of P4 should be provided (requirement under D2.13 and D2.14) when tested as per AS4586.
- In addition to the above all non-fire-isolated stairways (on the ground floor level and basement level) require the following:**
- Handrails to be provided to both sides and to extend a minimum of 300mm horizontally past the nosing on the top riser. At the bottom of the stairs the handrail is to extend at least one tread depth parallel to the line of the nosing, plus a minimum of 300mm horizontally from the last riser.
- All 1:14 ramps require the following**
- All ramps to be compliant with: AS1428.1-2009, handrails on both sides with 1M clearance between handrails.
  - Handrail to extend a minimum of 300mm horizontally past the transition point at the top and bottom of the ramp except where the inner handrail is continuous at an intermediate landing.
  - Handrails to be provided on both sides with 1M clearance between them and located between 865mm-1000mm above FFL (finished floor level) with no vertical sections.
  - Diameter of handrails to be between 30mm-50mm (30mm preferred) and located not less than 50mm from adjacent walls with no obstructions to top 270° arc.
  - At 90 / 180 degree bends the midlandings are requirement to be minimum of 1540mm when measured in between handrails
- Braille / Tactile Signage as per BCA requirements to be provided to:**
- All doors nominated as Exit doors require signage
  - All Non-accessible entry points.
  - Accessible Sanitary Facilities.
- TGSIs are required in the following locations (only to non-fire-isolated stairways and ramps):**
- At top and bottom landings of stairways/ ramps, 600-800mm depth or min 12 discrete cones are required at 300+/-10mm from edge of hazard (unless the landings are less than 3M, in which case, provide 300mm depth)
  - At mid landings of stairway/ ramps, 300-400mm depth or min 6 discrete cones are required only where handrails are not continuous or landing or if landing is less than 3M.
- Compliance is required with AS1428.4.1. Luminance contrast requirements of TGSIs are to be as listed below,**
- Integrated TGSIs require min of 30%. Discrete TGSIs require min of 45%
  - Discrete with 2 colours require the raised surface to have a min of 60%
- Floor or ground surfaces**
- The texture of the surface is to be traversable by people who use a wheelchair and those with an ambulant or sensory disability. Abutment of surfaces is to have a smooth transition. Construction tolerances to be +/- 3mm vertical or +/-5mm (provided the edges have a bevelled or rounded edge). Grates (if used in the accessible path of travel) are required to comply with AS1428.1.
- Accessible Car parking**
- Dedicated space 2.4Mx5.4M, Shared space 2.4Mx5.4M to be at the same level
  - Slip resistant flooring surface with maximum fall 1:40 in any direction or maximum 1:33 if bituminous and outdoors
  - Central Bollard in shared space at 800+/-50mm from entry point
  - Pavement marking in dedicated space by means of access symbol between 800mm-1000mm high placed on a blue rectangle of maximum 1200mm and between 500mm-600mm from its entry point (marking not required where allocated to an Adaptable unit)
  - Minimum headroom of 2.2M at entrances and 2.5M is required over shared zones as well as dedicated spaces
  - Non-trafficked area of the shared space to have marking strips at 45°, 150-200mm wide at 200mm-300mm spaces (not required where driveways are used as shared spaces)
  - The pavement marking shall have the appropriate slip resistance for the location.
- Lifts**
- Lift to comply with the requirements of BCA Part E3- Lift installations.
  - All external lift control buttons to be located between 900-1100mm above FFL and not less than 500mm from internal corners
- Slip resistance**
- Slip resistance to be as per BCA Table D2.14 when tested in accordance with AS4586.
  - All wet areas / outdoor areas associated with Adaptable units to be slip resistant as per AS3661/ AS4586.
  - Refer to guide HB 197 for details in regards to compliance requirements.
- Adaptable and Livable units**
- All adaptable units to be constructed as per requirements of AS4299 as listed in the Access report by Accesslink to Class C level.
  - Note that flush transition is required to all flooring in the unit, which means that recessed floor slabs will be required to wet areas.
  - All passageways in these units are required to provide 1M clear passageways when measured from skirting to skirting.
  - All doorways to provide for 820mm clear opening space as a minimum. The main entry doorway doorway to main adaptable bathroom and main adaptable bedroom to provide for 850mm clear opening space.
  - At least 1 hobless shower to be provided. At least 1 toilet to have WC in the corner with a clear space of 900x1200 in front of the pan and a side wall reinforced.



Pre-adaptable Unit\_ 1U



Post-adaptable Unit\_ 1U

Unit No.: 1.18; 2.18; 3.18; 4.18; 5.18; 6.18

Total Units: 6

Rev.	Date	By	Ckd	Description
A	06/04/19	MF	SO	Issue for Submission

Client Details  
 Urban Property Group  
 Patrick Elias



Consultants

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Project Name: Lord Sheffield Circuit Penrith  
 Project Number: 12116  
 Project Address: Lot 210&211 Lord Sheffield Circuit, Penrith, NSW 2075

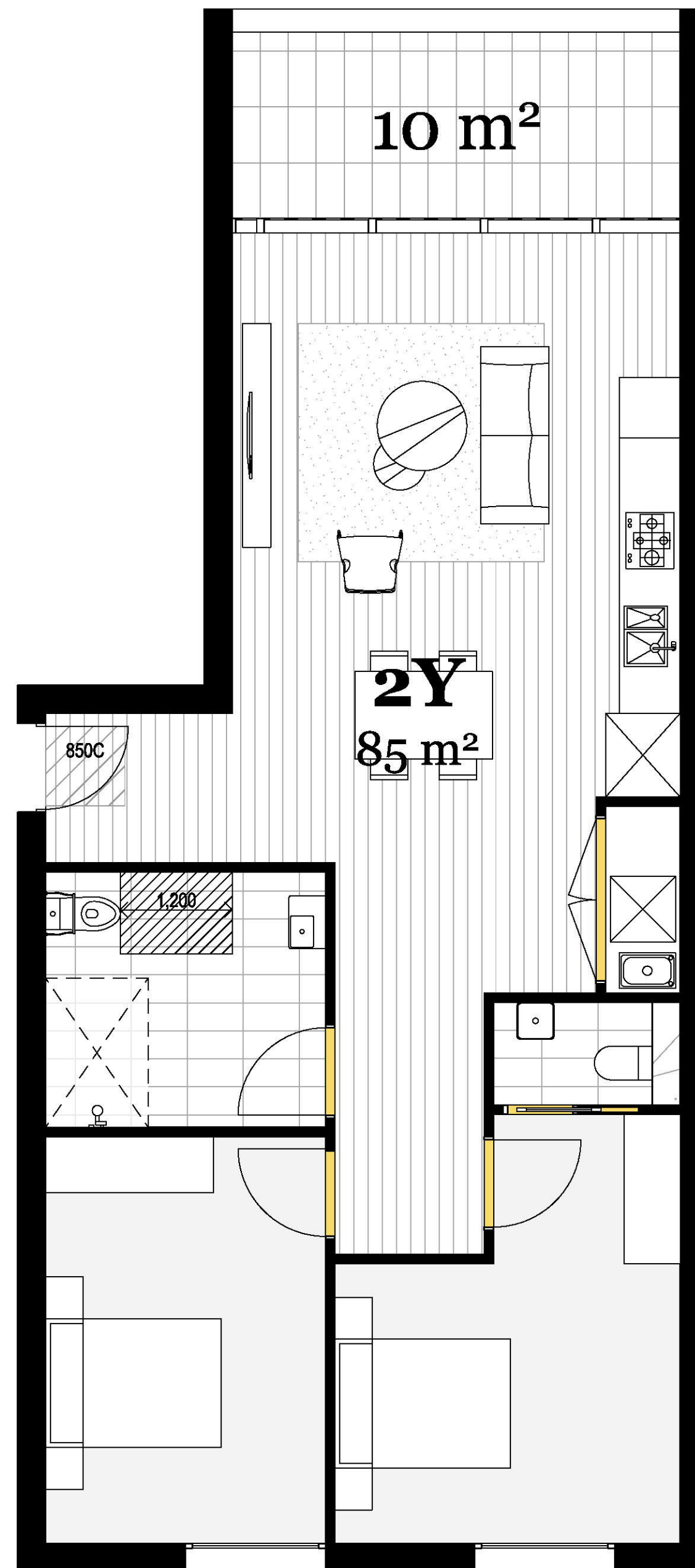
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 Date: March 2019  
 Scale: 1:50 @ A1

Drawing Series: GA Plans\_Lot 211  
 Drawing Name: Adaptable Units

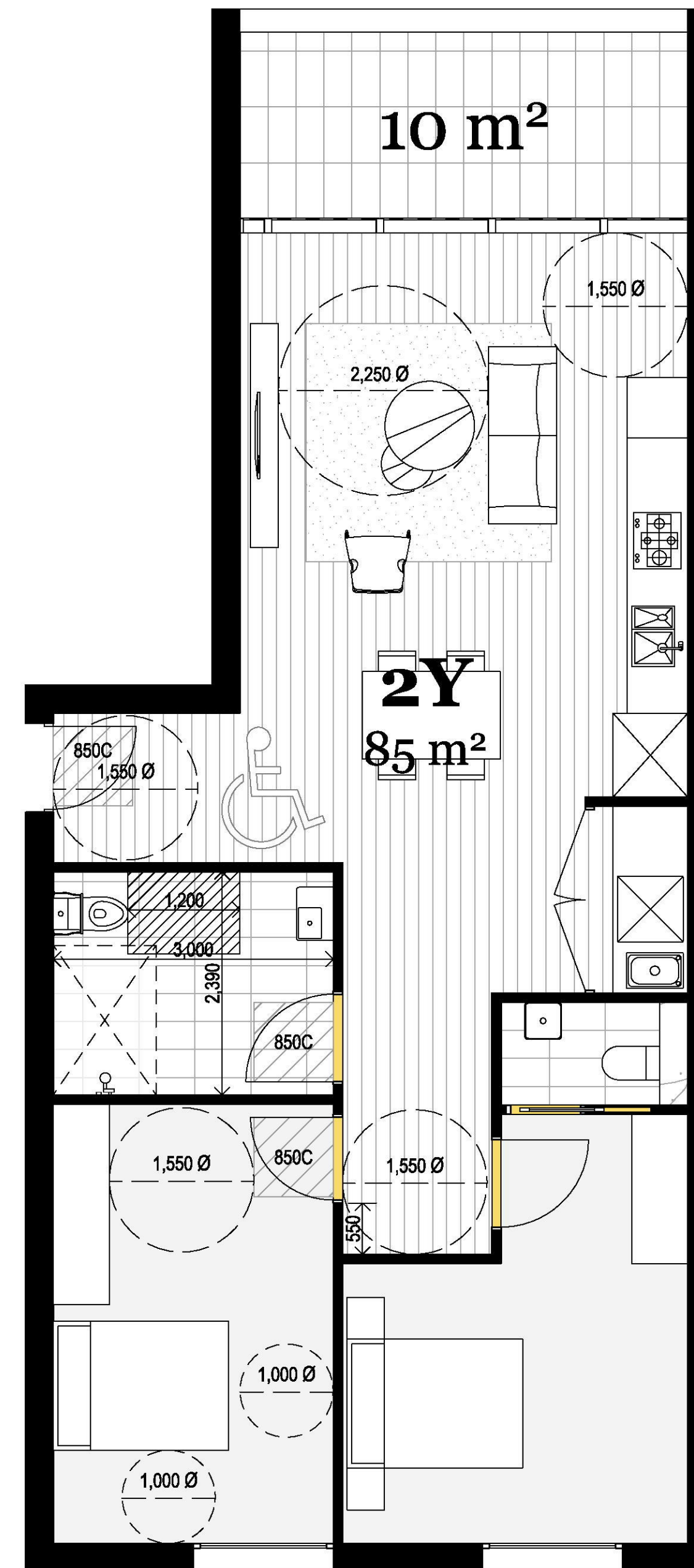
Drawing Number: DA205  
 Revision: A

# Adaptable Unit Specifications

- All Doors in residential common use areas and commercial use areas:**
- All single hinged doors and in case of multiple leaf doorways, at least 1 operable leaf is required to provide a clear opening of 850mm with the door circulations spaces as per AS1428.1-2009.
  - When using sliding doors, flush transition is required so provide fully recessed floor tracks. Also all sliding doors to have 510mm minimum available to latch side of the sliding door to enable access to door handle.
  - All fully glazed areas to have glazing strips. The marking should be for the full width with a solid and non-transparent 75mm wide, contrasting line located 900-1000mm above FFL and provide a minimum luminance contrast of 30% when viewed against the floor surface within 2M of the glazing on the opposite end. Graphical representation or cut-outs are not permitted.
  - All doorways to have a minimum luminance contrast of 30% provided between, Door leaf and door jamb or Door leaf and adjacent wall or Architrave and wall or Door leaf and architrave or Door jamb and adjacent wall. The minimum width of the luminance contrast to be 50mm.
  - All external doorways to have a max drop of 35mm at threshold when used in combination with a doorway threshold ramp of 1:8 grade within 20mm of the door leaf.
- Door hardware requirements in residential common use areas and commercial use areas:**
- D shaped door handles to be used, located at 900-1100mm above FFL
  - Clearance between the handle and the back plate or the door face at the centre grip section of the handle to be between 35-45mm with a minimum of 20mm turn at the end of the handle
- All stairways require the following:**
- All stairways to be compliant with: AS1428.1-2009, including but not limited to opaque risers, with 1M clear space (handrail / wall)
  - Each tread to have a nosing strip between 50mm-75mm for the full width of the stair, which can be setback for a maximum of 15mm from the front of the nosing. This strip is to have a minimum luminance contrast of 30% to the background and to comply with any change in level requirements if attached on the treads.
  - Handrails to be located between 865mm-1000mm above FFL, with no vertical sections. Diameter of handrails to be between 30mm-50mm and located not less than 50mm from adjacent walls with no obstructions to top 270° arc.
  - Slip resistance to also comply with BCA Table D2.14 when tested in accordance with AS4586. For treads and landings, slip resistance of R11 / P4 and for nosing strips slip resistance of P4 should be provided (requirement under D2.13 and D2.14) when tested as per AS4586.
- In addition to the above all non-fire-isolated stairways (on the ground floor level and basement level) require the following:**
- Handrails to be provided to both sides and to extend a minimum of 300mm horizontally past the nosing on the top riser. At the bottom of the stairs the handrail is to extend at least one tread depth parallel to the line of the nosing, plus a minimum of 300mm horizontally from the last riser.
- All 1:14 ramps require the following**
- All ramps to be compliant with: AS1428.1-2009, handrails on both sides with 1M clearance between handrails.
  - Handrail to extend a minimum of 300mm horizontally past the transition point at the top and bottom of the ramp except where the inner handrail is continuous at an intermediate landing.
  - Handrails to be provided on both sides with 1M clearance between them and located between 865mm-1000mm above FFL (finished floor level) with no vertical sections.
  - Diameter of handrails to be between 30mm-50mm (30mm preferred) and located not less than 50mm from adjacent walls with no obstructions to top 270° arc.
  - At 90 / 180 degree bends the midlandings are requirement to be minimum of 1540mm when measured in between handrails
- Braille / Tactile Signage as per BCA requirements to be provided to:**
- All doors nominated as Exit doors require signage
  - All Non-accessible entry points.
  - Accessible Sanitary Facilities.
- TGSIs are required in the following locations (only to non-fire-isolated stairways and ramps):**
- At top and bottom landings of stairways/ ramps, 600-800mm depth or min 12 discrete cones are required at 300+/-10mm from edge of hazard (unless the landings are less than 3M, in which case, provide 300mm depth)
  - At mid landings of stairway/ ramps, 300-400mm depth or min 6 discrete cones are required only where handrails are not continuous or landing or if landing is less than 3M.
- Compliance is required with AS1428.4.1. Luminance contrast requirements of TGSIs are to be as listed below,**
- Integrated TGSIs require min of 30%. Discrete TGSIs require min of 45%
  - Discrete with 2 colours require the raised surface to have a min of 60%
- Floor or ground surfaces**
- The texture of the surface is to be traversable by people who use a wheelchair and those with an ambulant or sensory disability. Abutment of surfaces is to have a smooth transition. Construction tolerances to be +/- 3mm vertical or +/-5mm (provided the edges have a bevelled or rounded edge). Grates (if used in the accessible path of travel) are required to comply with AS1428.1.
- Accessible Car parking**
- Dedicated space 2.4Mx5.4M, Shared space 2.4Mx5.4M to be at the same level
  - Slip resistant flooring surface with maximum fall 1:40 in any direction or maximum 1:33 if bituminous and outdoors
  - Central Bollard in shared space at 800+/-50mm from entry point
  - Pavement marking in dedicated space by means of access symbol between 800mm-1000mm high placed on a blue rectangle of maximum 1200mm and between 500mm-600mm from its entry point (marking not required where allocated to an Adaptable unit)
  - Minimum headroom of 2.2M at entrances and 2.5M is required over shared zones as well as dedicated spaces
  - Non-trafficked area of the shared space to have marking strips at 45°, 150-200mm wide at 200mm-300mm spaces (not required where driveways are used as shared spaces)
  - The pavement marking shall have the appropriate slip resistance for the location.
- Lifts**
- Lift to comply with the requirements of BCA Part E3- Lift installations.
  - All external lift control buttons to be located between 900-1100mm above FFL and not less than 500mm from internal corners
- Slip resistance**
- Slip resistance to be as per BCA Table D2.14 when tested in accordance with AS4586.
  - All wet areas / outdoor areas associated with Adaptable units to be slip resistant as per AS3661/ AS4586.
  - Refer to guide HB 197 for details in regards to compliance requirements.
- Adaptable and Livable units**
- All adaptable units to be constructed as per requirements of AS4299 as listed in the Access report by Accesslink to Class C level.
  - Note that flush transition is required to all flooring in the unit, which means that recessed floor slabs will be required to wet areas.
  - All passageways in these units are required to provide 1M clear passageways when measured from skirting to skirting.
  - All doorways to provide for 820mm clear opening space as a minimum. The main entry doorway doorway to main adaptable bathroom and main adaptable bedroom to provide for 850mm clear opening space.
  - At least 1 hobless shower to be provided. At least 1 toilet to have WC in the corner with a clear space of 900x1200 in front of the pan and a side wall reinforced.



Pre-adaptable Unit\_2C



Post-adaptable Unit\_2C

Unit No.: 1.17; 2.17; 3.17; 4.17; 5.17; 6.17

Total Units: 6

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Bidder/Contractor shall verify job dimensions before any job commences. Figure dimensions take precedence over drawings and job dimensions. All shop drawings shall be submitted to the Architect/Consultant, and manufacturer shall not commence prior to return of inspected shop drawings by the Architect/Consultant.

Rev.	Date	By	Ckd	Description
A	06/04/19	SM	SO	Issue for Submission

Client Details  
Urban Property Group  
Patrick Elias



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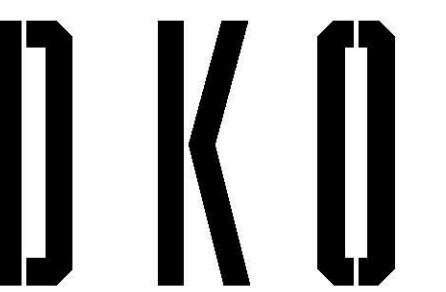
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Project Name: Lord Sheffield Circuit Penrith  
Project Number: 12116  
Project Address: Lot 210&211 Lord Sheffield Circuit, Penrith, NSW 2075

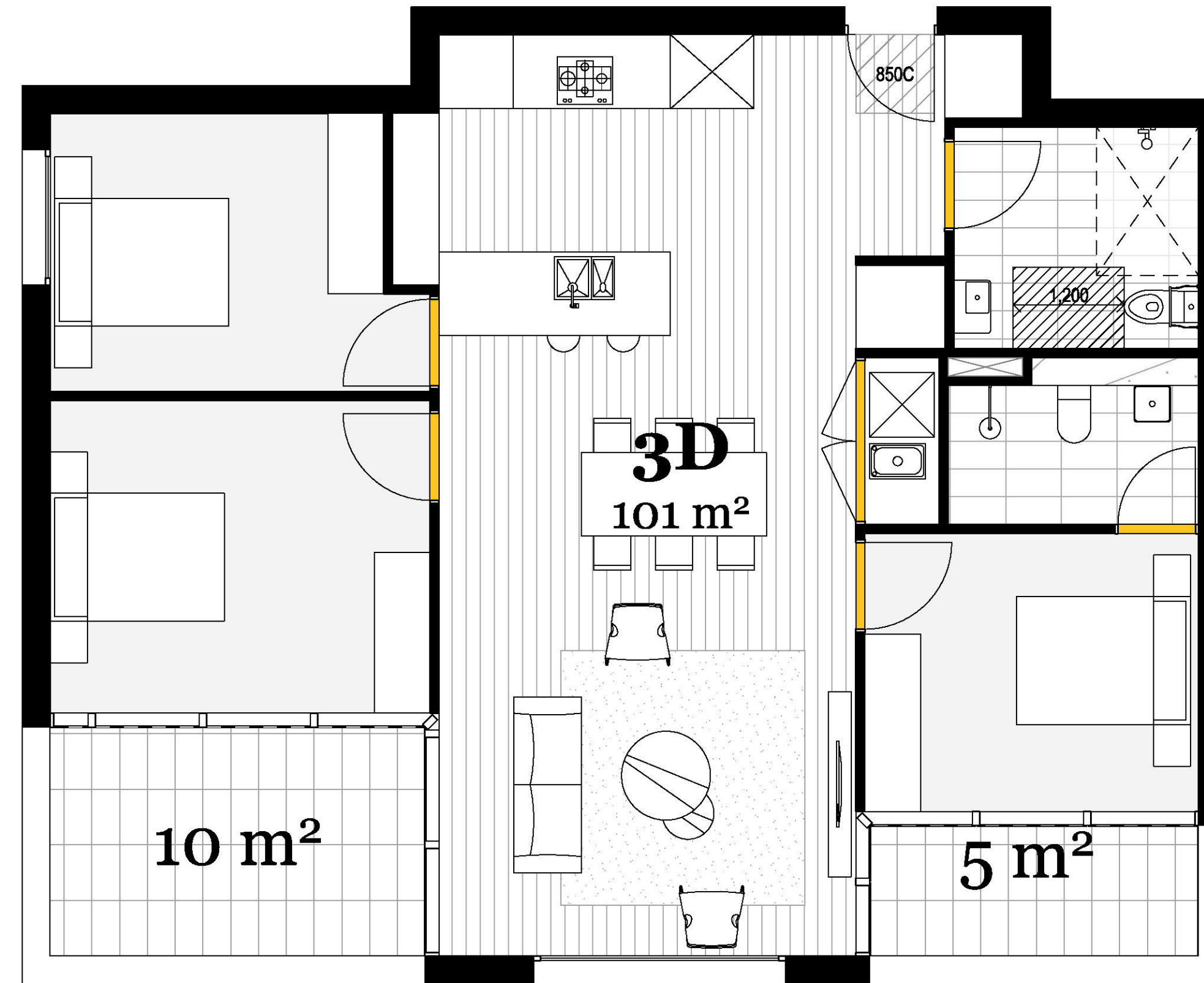
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Drawing Name: Adaptable Units

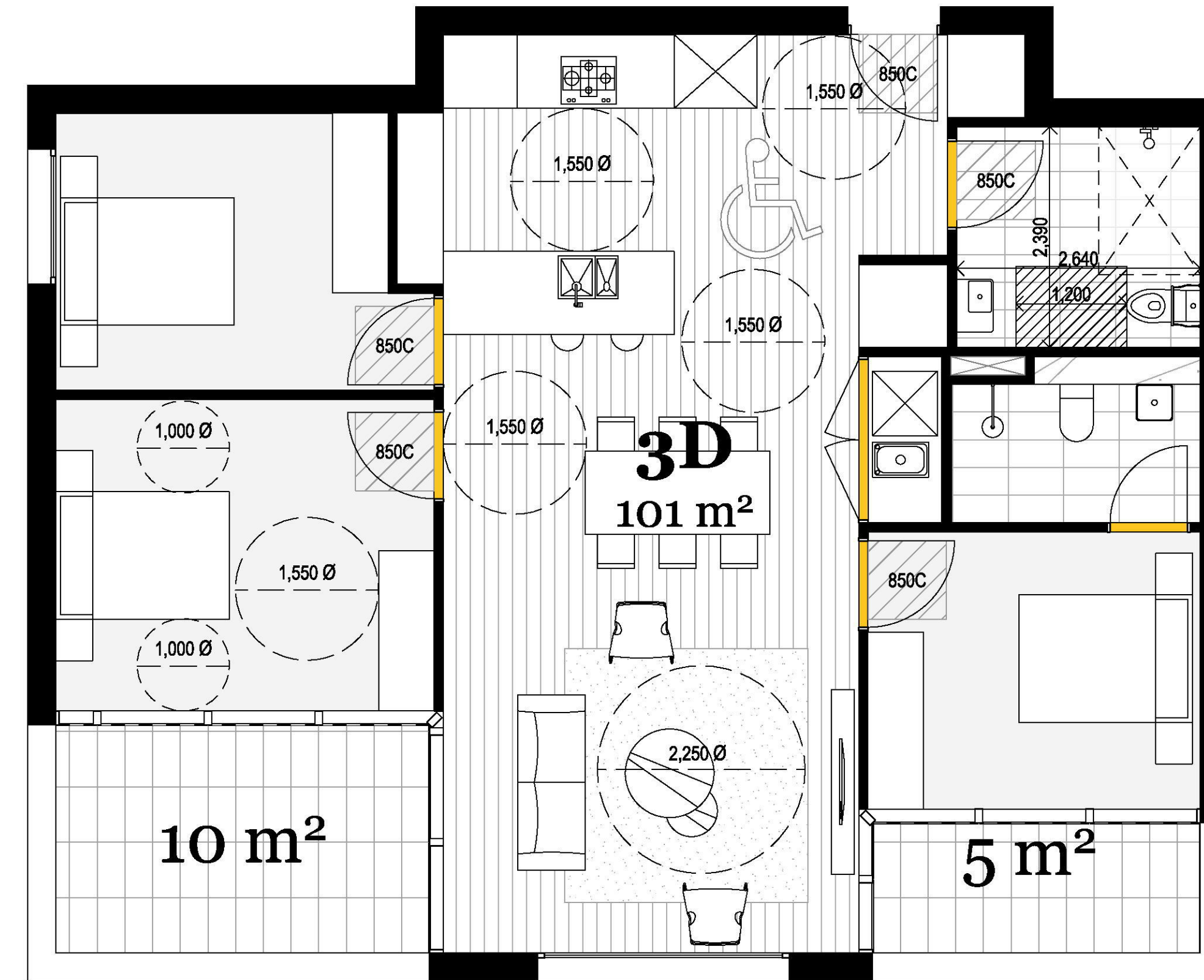
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Revision: A

# Adaptable Unit Specifications

- All Doors in residential common use areas and commercial use areas:**
- All single hinged doors and in case of multiple leaf doorways, at least 1 operable leaf is required to provide a clear opening of 850mm with the door circulations spaces as per AS1428.1-2009.
  - When using sliding doors, flush transition is required so provide fully recessed floor tracks. Also all sliding doors to have 510mm minimum available to latch side of the sliding door to enable access to door handle.
  - All fully glazed areas to have glazing strips. The marking should be for the full width with a solid and non-transparent 75mm wide, contrasting line located 900-1000mm above FFL and provide a minimum luminance contrast of 30% when viewed against the floor surface within 2M of the glazing on the opposite end. Graphical representation or cut-outs are not permitted.
  - All doorways to have a minimum luminance contrast of 30% provided between, Door leaf and door jamb or Door leaf and adjacent wall or Architrave and wall or Door leaf and architrave or Door jamb and adjacent wall. The minimum width of the luminance contrast to be 50mm.
  - All external doorways to have a max drop of 35mm at threshold when used in combination with a doorway threshold ramp of 1:8 grade within 20mm of the door leaf.
- Door hardware requirements in residential common use areas and commercial use areas:**
- D shaped door handles to be used, located at 900-1100mm above FFL
  - Clearance between the handle and the back plate or the door face at the centre grip section of the handle to be between 35-45mm with a minimum of 20mm turn at the end of the handle
- All stairways require the following:**
- All stairways to be compliant with: AS1428.1-2009, including but not limited to opaque risers, with 1M clear space (handrail to handrail / wall)
  - Each tread to have a nosing strip between 50mm-75mm for the full width of the stair, which can be setback for a maximum of 15mm from the front of the nosing. This strip is to have a minimum luminance contrast of 30% to the background and to comply with any change in level requirements if attached on the treads.
  - Handrails to be located between 865mm-1000mm above FFL, with no vertical sections. Diameter of handrails to be between 30mm-50mm and located not less than 50mm from adjacent walls with no obstructions to top 270° arc.
  - Slip resistance to also comply with BCA Table D2.14 when tested in accordance with AS4586. For treads and landings, slip resistance of R11 / P4 and for nosing strips slip resistance of P4 should be provided (requirement under D2.13 and D2.14) when tested as per AS4586.
- In addition to the above all non-fire-isolated stairways (on the ground floor level and basement level) require the following:**
- Handrails to be provided to both sides and to extend a minimum of 300mm horizontally past the nosing on the top riser. At the bottom of the stairs the handrail is to extend at least one tread depth parallel to the line of the nosing, plus a minimum of 300mm horizontally from the last riser.
- All 1:14 ramps require the following:**
- All ramps to be compliant with: AS1428.1-2009, handrails on both sides with 1M clearance between handrails.
  - Handrail to extend a minimum of 300mm horizontally past the transition point at the top and bottom of the ramp except where the inner handrail is continuous at an intermediate landing.
  - Handrails to be provided on both sides with 1M clearance between them and located between 865mm-1000mm above FFL (finished floor level) with no vertical sections.
  - Diameter of handrails to be between 30mm-50mm (30mm preferred) and located not less than 50mm from adjacent walls with no obstructions to top 270° arc.
  - At 90 / 180 degree bends the midlandings are requirement to be minimum of 1540mm when measured in between handrails
- Braille / Tactile Signage as per BCA requirements to be provided to:**
- All doors nominated as Exit doors require signage
  - All Non-accessible entry points.
  - Accessible Sanitary Facilities.
- TGSIs are required in the following locations (only to non-fire-isolated stairways and ramps):**
- At top and bottom landings of stairways/ ramps, 600-800mm depth or min 12 discrete cones are required at 300+/-10mm from edge of hazard (unless the landings are less than 3M, in which case, provide 300mm depth)
  - At mid landings of stairway/ ramps, 300-400mm depth or min 6 discrete cones are required only where handrails are not continuous or landing or if landing is less than 3M.
- Compliance is required with AS1428.4.1. Luminance contrast requirements of TGSIs are to be as listed below,**
- Integrated TGSIs require min of 30%. Discrete TGSIs require min of 45%
  - Discrete with 2 colours require the raised surface to have a min of 60%
- Floor or ground surfaces**
- The texture of the surface is to be traversable by people who use a wheelchair and those with an ambulant or sensory disability. Abutment of surfaces is to have a smooth transition. Construction tolerances to be +/- 3mm vertical or +/-5mm (provided the edges have a bevelled or rounded edge). Grates (if used in the accessible path of travel) are required to comply with AS1428.1.
- Accessible Car parking**
- Dedicated space 2.4Mx5.4M, Shared space 2.4Mx5.4M to be at the same level
  - Slip resistant flooring surface with maximum fall 1:40 in any direction or maximum 1:33 if bituminous and outdoors
  - Central Bollard in shared space at 800+/-50mm from entry point
  - Pavement marking in dedicated space by means of access symbol between 800mm-1000mm high placed on a blue rectangle of maximum 1200mm and between 500mm-600mm from its entry point (marking not required where allocated to an Adaptable unit)
  - Minimum headroom of 2.2M at entrances and 2.5M is required over shared zones as well as dedicated spaces
  - Non-trafficked area of the shared space to have marking strips at 45°, 150-200mm wide at 200mm-300mm spaces (not required where driveways are used as shared spaces)
  - The pavement marking shall have the appropriate slip resistance for the location.
- Lifts**
- Lift to comply with the requirements of BCA Part E3- Lift installations.
  - All external lift control buttons to be located between 900-1100mm above FFL and not less than 500mm from internal corners
- Slip resistance**
- Slip resistance to be as per BCA Table D2.14 when tested in accordance with AS4586.
  - All wet areas / outdoor areas associated with Adaptable units to be slip resistant as per AS3661/ AS4586.
  - Refer to guide HB 197 for details in regards to compliance requirements.
- Adaptable and Livable units**
- All adaptable units to be constructed as per requirements of AS4299 as listed in the Access report by Accesslink to Class C level.
  - Note that flush transition is required to all flooring in the unit, which means that recessed floor slabs will be required to wet areas.
  - All passageways in these units are required to provide 1M clear passageways when measured from skirting to skirting.
  - All doorways to provide for 820mm clear opening space as a minimum. The main entry doorway doorway to main adaptable bathroom and main adaptable bedroom to provide for 850mm clear opening space.
  - At least 1 hobless shower to be provided. At least 1 toilet to have WC in the corner with a clear space of 900x1200 in front of the pan and a side wall reinforced.



Pre-Adaptable Unit\_3D



Post-Adaptable Unit\_3D

Unit No.: 2.22; 3.22; 4.22; 5.22; 6.22; 7.16

Total Units: 6

Total Adaptable Units: 18

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Figured dimensions take precedence over drawings and job dimensions.  
All shop drawings shall be submitted to the Architect/Consultant, and manufacturer shall not commence prior to return of inspected shop drawings by the Architect/Consultant

Rev.	Date	By	Ckd	Description
A	06/04/19	SM	SO	Issue for Submission

Client Details  
Urban Property Group  
Patrick Elias



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Project Name: Lord Sheffield Circuit Penrith  
Project Number: 12116  
Project Address: Lot 210&211 Lord Sheffield Circuit, Penrith, NSW 2075

Drawn By: [Blank]  
Checked By: [Blank]  
Date: March 2019  
Scale: 1:50 @ A1

Drawing Series: GA Plans\_Lot 211  
Drawing Name: Adaptable Units

Drawing Number: DA207  
Revision: A

# Silver Standard Livable Housing Unit Specifications

**Dwelling Access**  
 For Class 2 buildings, the Commonwealth Disability (Access to Premises – Buildings) Standards 2015 require a safe and continuous pathway from the pedestrian entrance to at least one floor containing sole occupancy units and to the entrance of units located on that level.

**Dwelling Entrance**  
 a. The dwelling should provide an entrance door with -  
 i. a minimum clear opening width of 820mm (see Figure 2(a));  
 ii. a level (step-free) transition and threshold (maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or beveled); and  
 iii. reasonable shelter from the weather.  
 b. A level landing area of 1200mm x 1200mm should be provided at the level (step-free) entrance door.  
 c. Where the threshold at the entrance exceeds 5mm and is less than 56mm, a ramped threshold may be provided (see Figure 1(b)).  
 d. The level (step-free) entrance should be connected to the safe and continuous pathway as specified in Element 1.

**Car Parking**  
 a. Where the parking area forms part of the dwelling access the space should incorporate:  
 i. minimum dimensions of at least 3200mm (width) x 5400mm (length);  
 ii. an even, firm and slip resistant surface; and  
 iii. a level surface (1:40 maximum gradient, 1:33 maximum gradient for bitumen).

**Internal doors and Corridors**  
 a. Doorways to rooms on the entry level used for living, dining, bedroom, bathroom, kitchen, laundry and sanitary compartment purposes should provide:  
 i. a minimum clear opening width of 820mm (see Figure 2(a)); and  
 ii. a level transition and threshold (maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or beveled).  
 b. Internal corridors/passageways to the doorways referred to in (a) should provide a minimum clear width of 1000mm.

**Toilet**  
 a. Dwellings should have a toilet on the ground (or entry) level that provides:  
 i. a minimum clear width of 900mm between the walls of the bathroom if located in a separate room; and  
 ii. a minimum 1200mm clear circulation space forward of the toilet pan exclusive of the swing of the door in accordance with Figure 3(a).  
 b. If the toilet is located within the ground (or entry) level bathroom, the toilet pan should be located in the corner of the room to enable the installation of grabrails.

**Shower**  
 a. One bathroom should feature a slip resistant, hobless (step-free) shower recess. Shower creeps are permitted provided they can be easily removed at a later date.  
 b. The shower recess should be located in the corner of the room to enable the installation of grabrails at a future date.

**Internal Stairways**  
 a. Stairways in dwellings must feature:  
 i. a continuous handrail on one side of the stairway where there is a rise of more than 1m.

**Kitchen Space**  
 No requirements.

**Laundry Space**  
 No requirements.

**Ground level Bedroom Space**  
 No requirements.

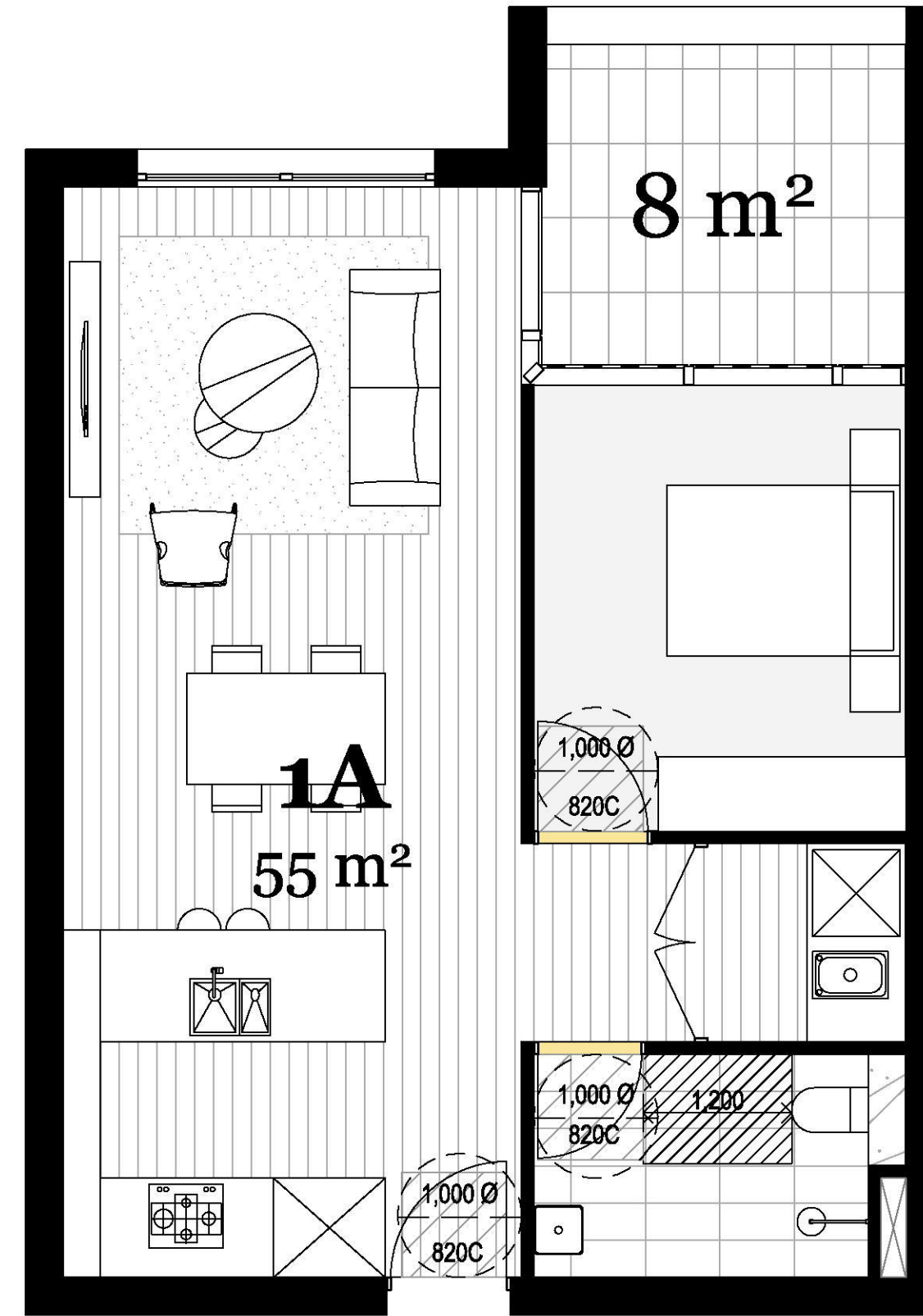
**Switches and Powerpoints**  
 No requirements.

**Door and Tap Hardware**  
 No requirements.

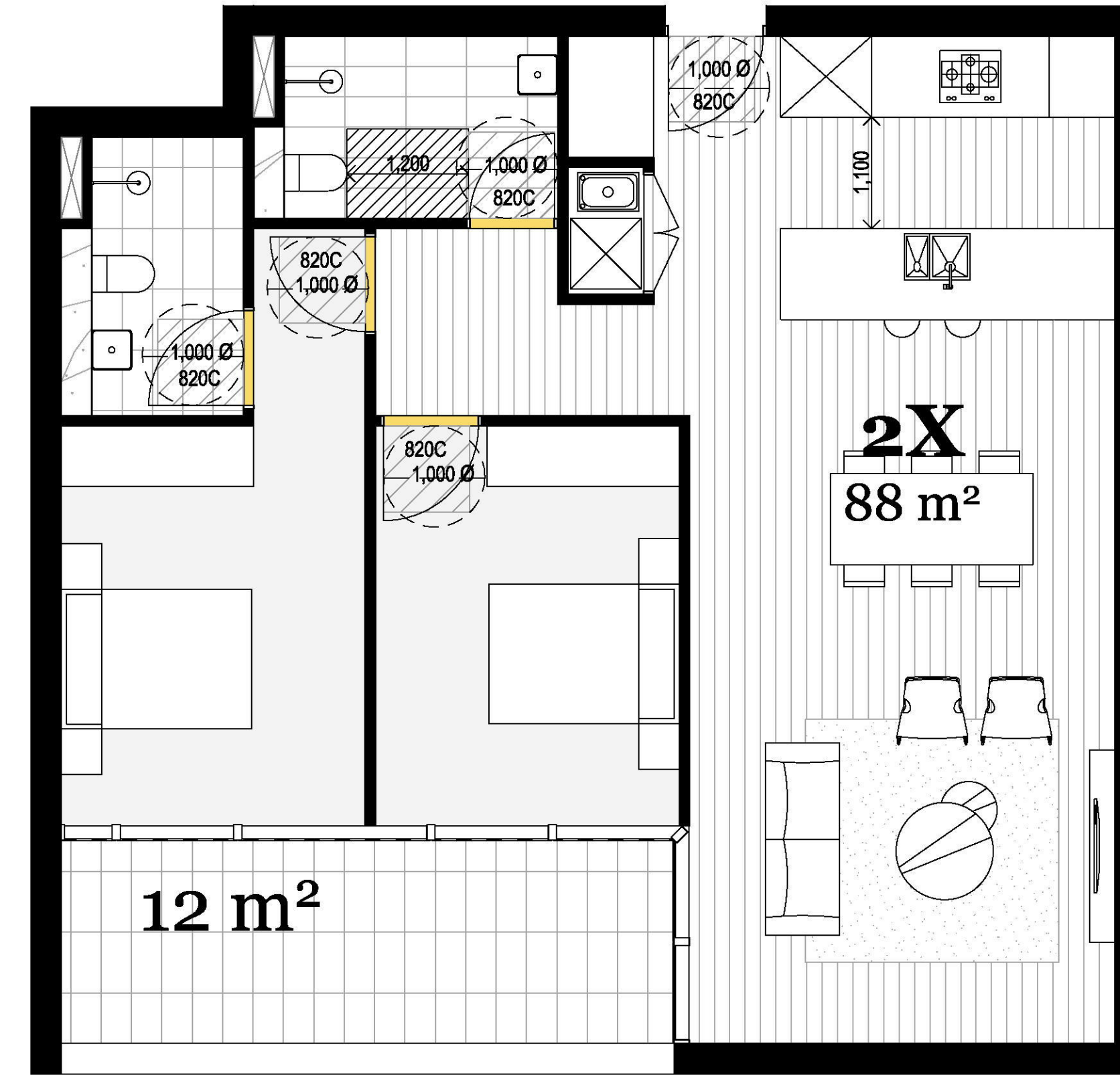
**Family/living room space**  
 No requirements.

**Window Sills**  
 No requirements.

**Flooring**  
 No requirements.



**Unit No.: 1.05; 1.19; 2.05; 2.19;  
 3.05; 3.19; 4.05; 4.19; 5.05; 5.19;  
 6.05; 6.19  
 Total Units: 12**



**Unit No.: 1.15; 2.15; 3.15; 4.15; 5.15;  
 6.15; 7.11  
 Total Units: 7**

**Total Adaptable Apartments: 18**

**Total Silver Standard Livable Housing Units: 37**

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Rev.	Date	By	Ckd	Description
A	06/04/19	MF	SO	Issue for Submission

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 Urban Property Group  
 Patrick Elias



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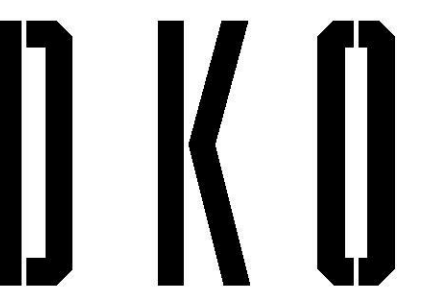
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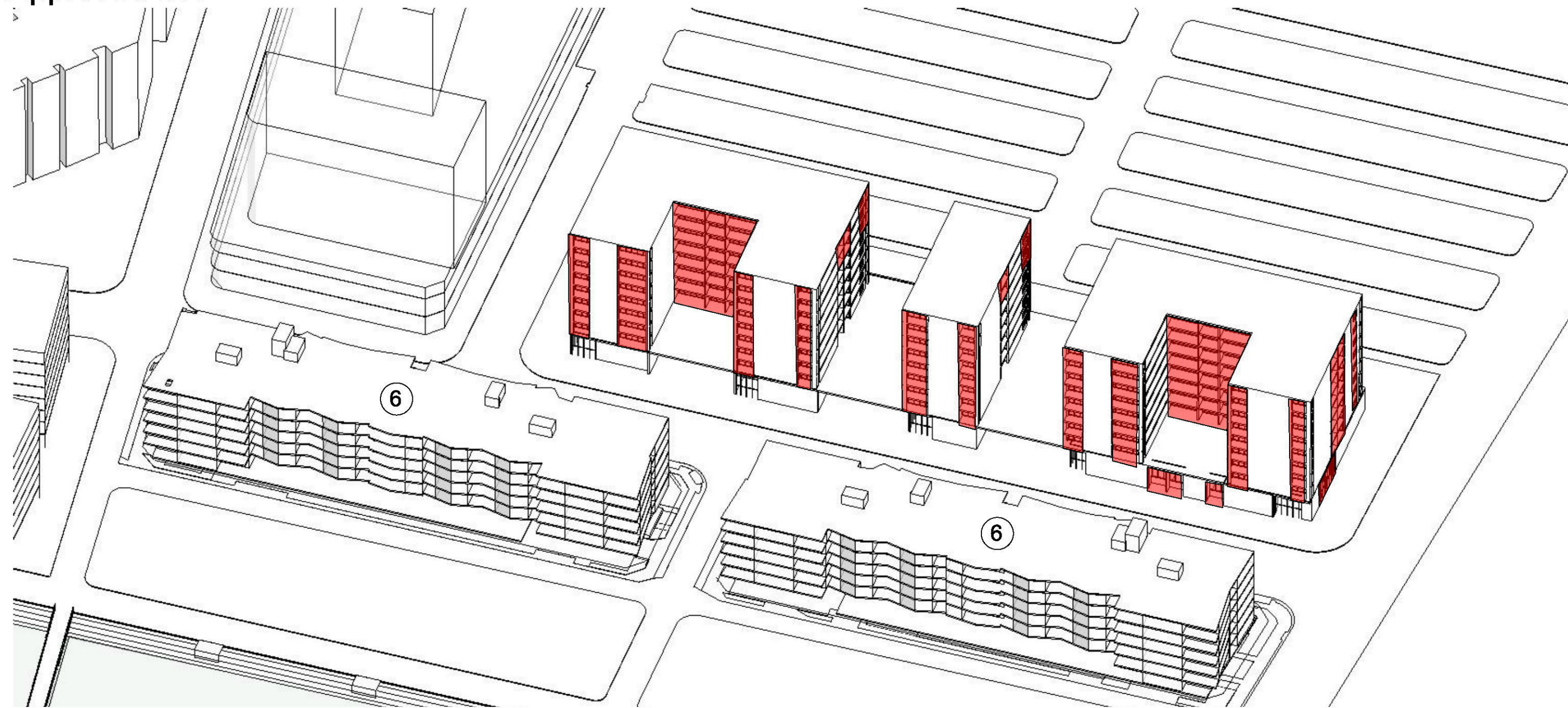
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Drawn By: [Blank]  
 Checked By: [Blank]  
 Date: March 2019  
 Scale: 1:50 @ A1

Drawing Series: GA Plans\_Lot 211  
 Drawing Name: Livable Housing Units

Drawing Number: **DA208**  
 Revision: **A**

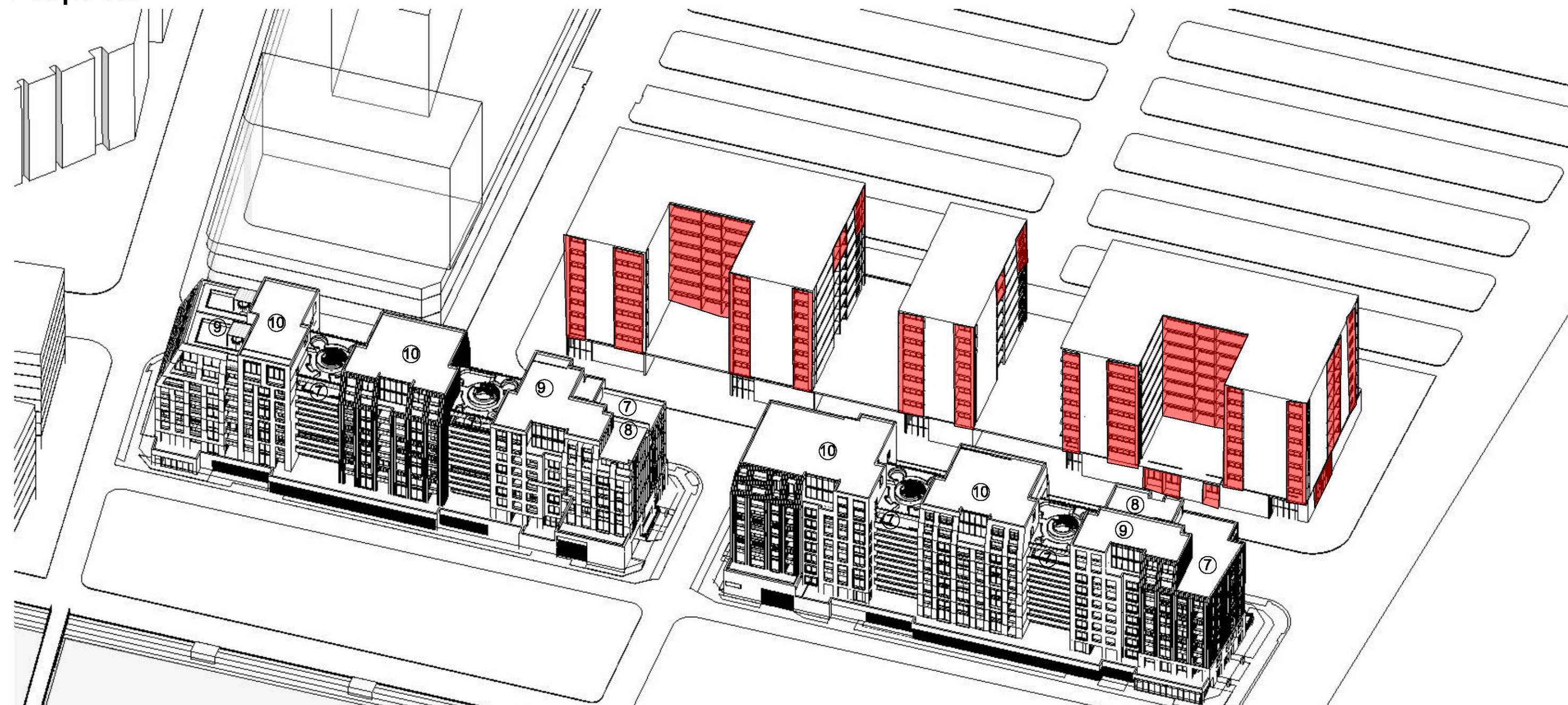
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32m Height Block



Proposal



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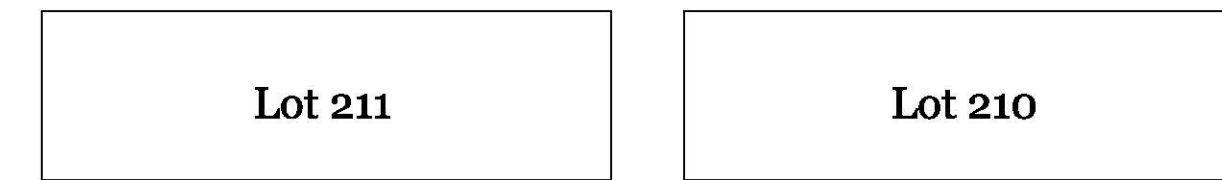
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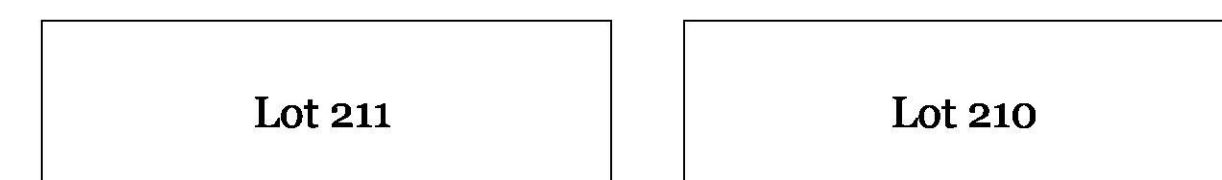
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Lord Sheffield Circuit



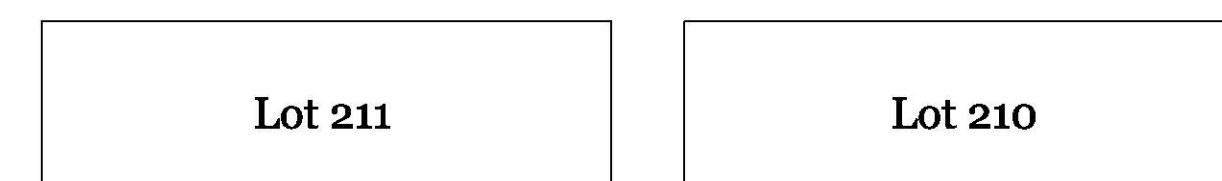
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 Total : 268 units  
 2hrs solar: 168 units(62.6%)  
■ Unit over 2hrs solar



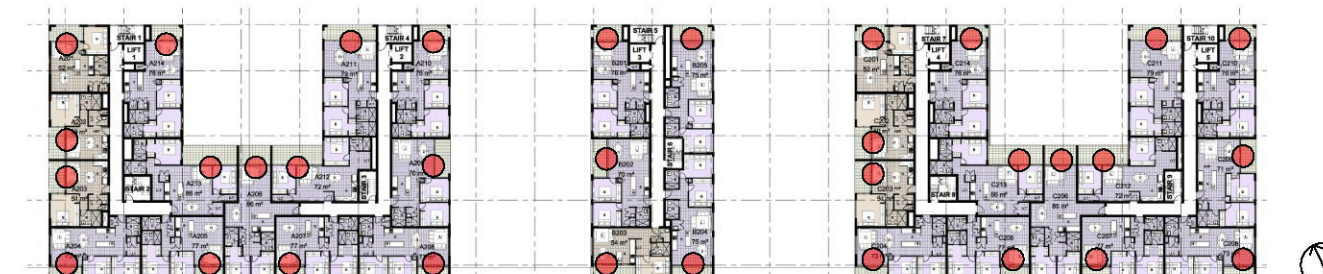
Lord Sheffield Circuit



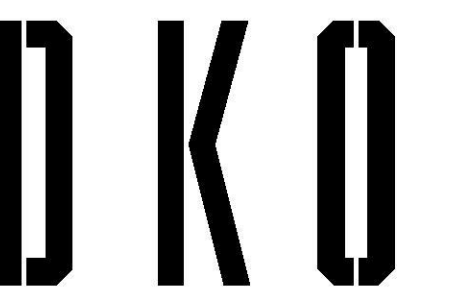
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 Total : 268 units  
 2hrs solar: 150 units(55.9%)  
■ Unit over 2hrs solar



Lord Sheffield Circuit



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 Total : 268 units  
 2hrs solar: 168 units(62.6%)  
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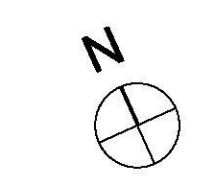
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 Project Address

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 Checked By  
 Date  
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Drawing Series  
 Drawing Name

Drawing Number  
 Revision



Lord Sheffield Circuit Penrith  
 12116  
 Lot 210&211 Lord Sheffield  
 Circuit,  
 Penrith, NSW 2075

March 2019  
 1:154.27, 1:4.84 @ A1

Shadow & Solar Analysis  
 Solar Access Calculations to Lot  
 3105 Lord Sheffield Circuit

Drawing Number **DA502**  
 Revision **A**

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A	06/04/19	MF	SO	Issue for Submission

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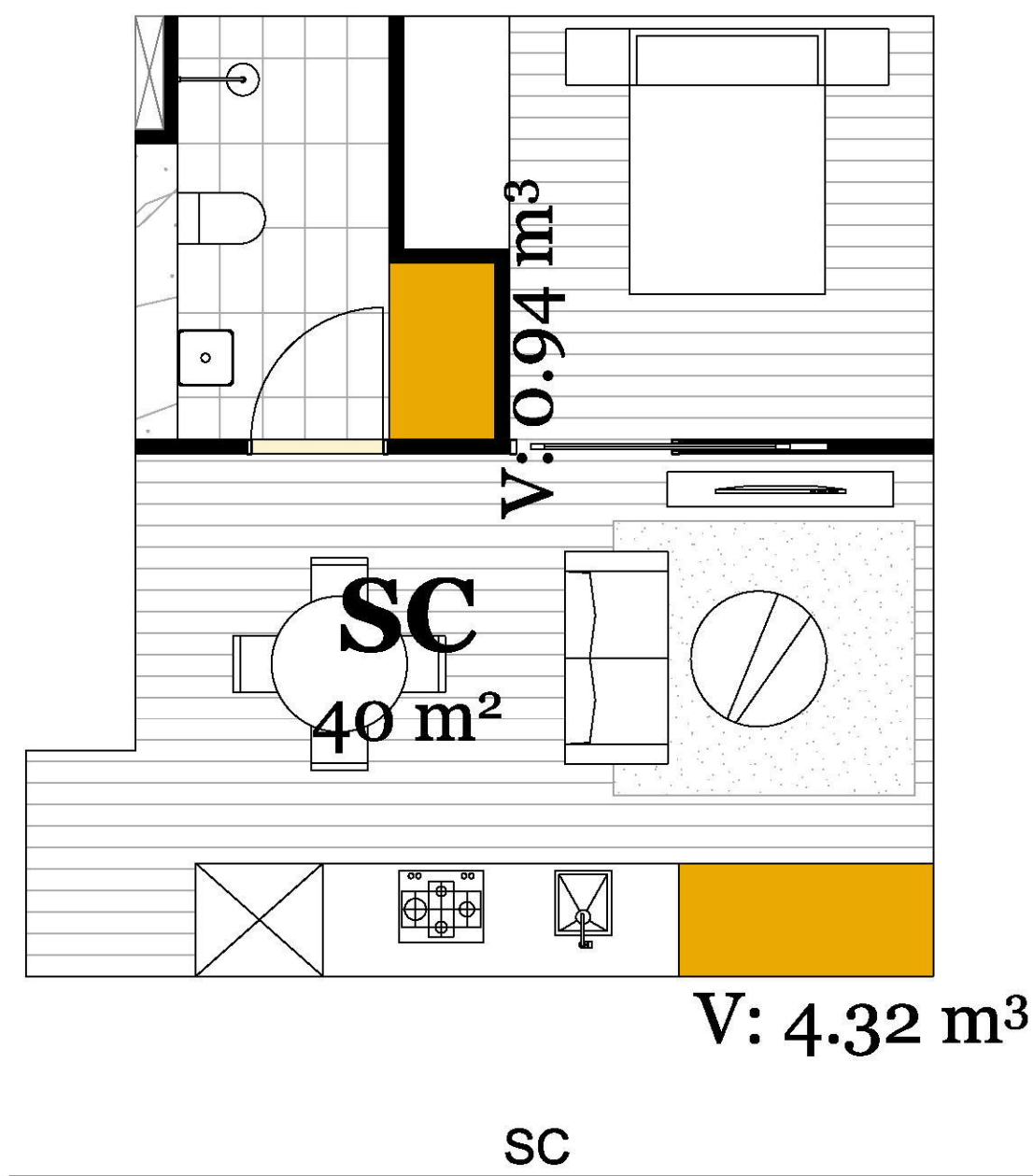
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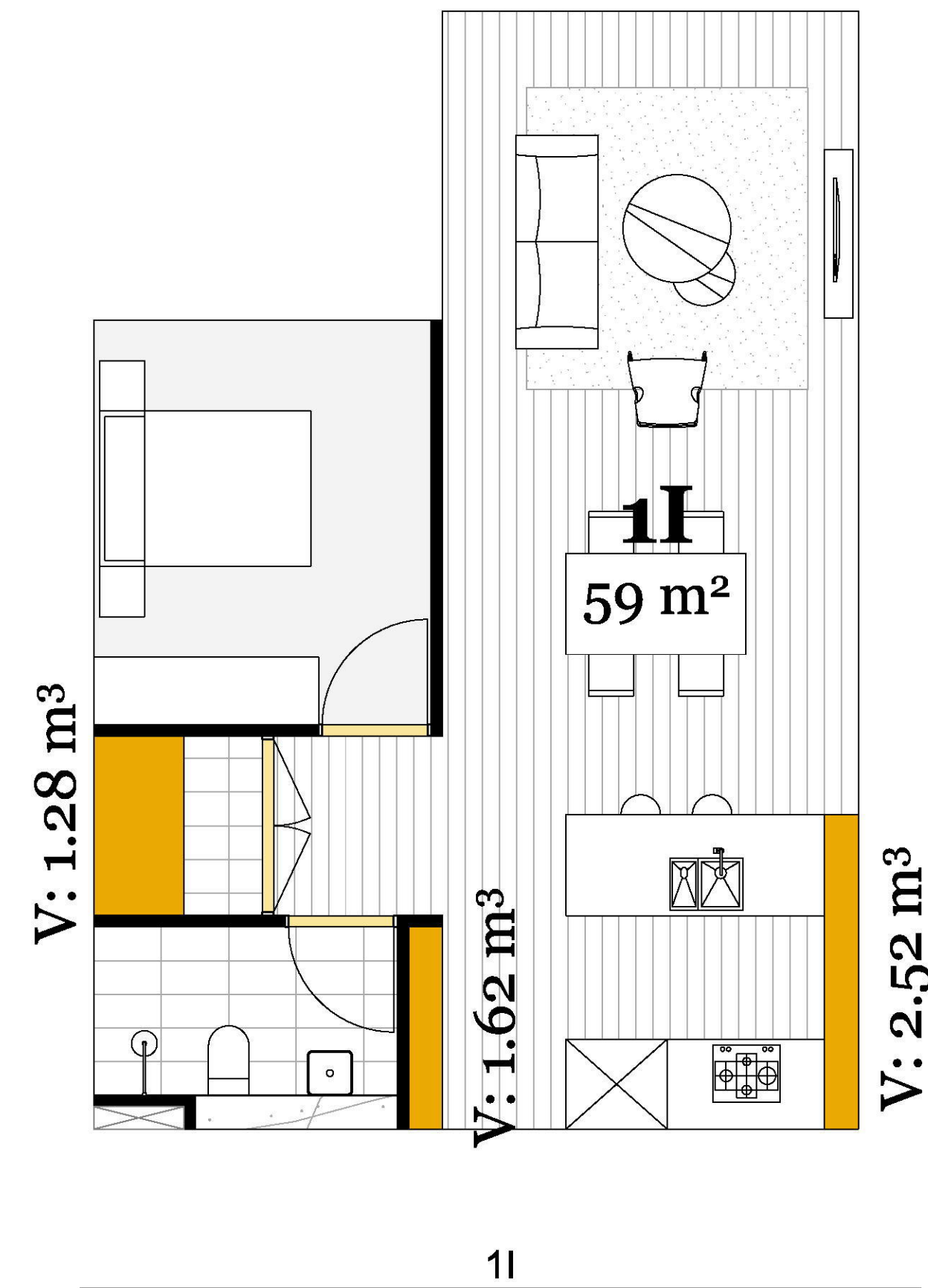
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**Studio ADG Storage Requirement : 4m³**

5.26m³ provided within the apartment

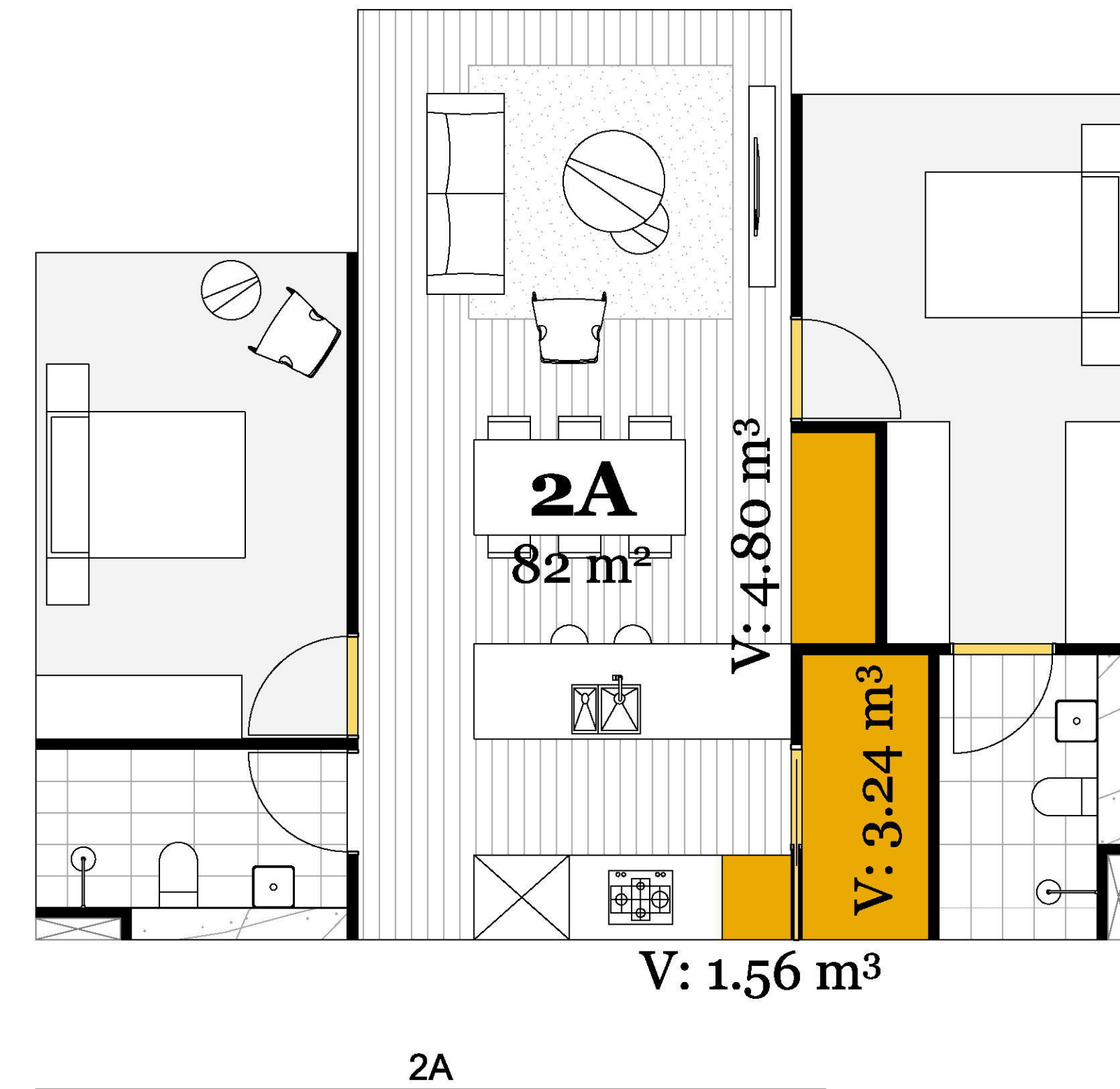


**1 Bed ADG Storage Requirement : 6m³**

5.42m³ provided within the apartment

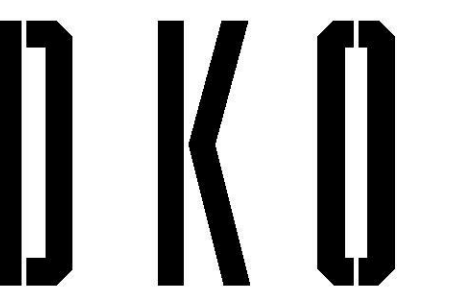
5.77m³ provided within the basement

Total : 11.19 m³



**2 Bed ADG Storage Requirement : 8m³**

9.6m³ provided within the apartment



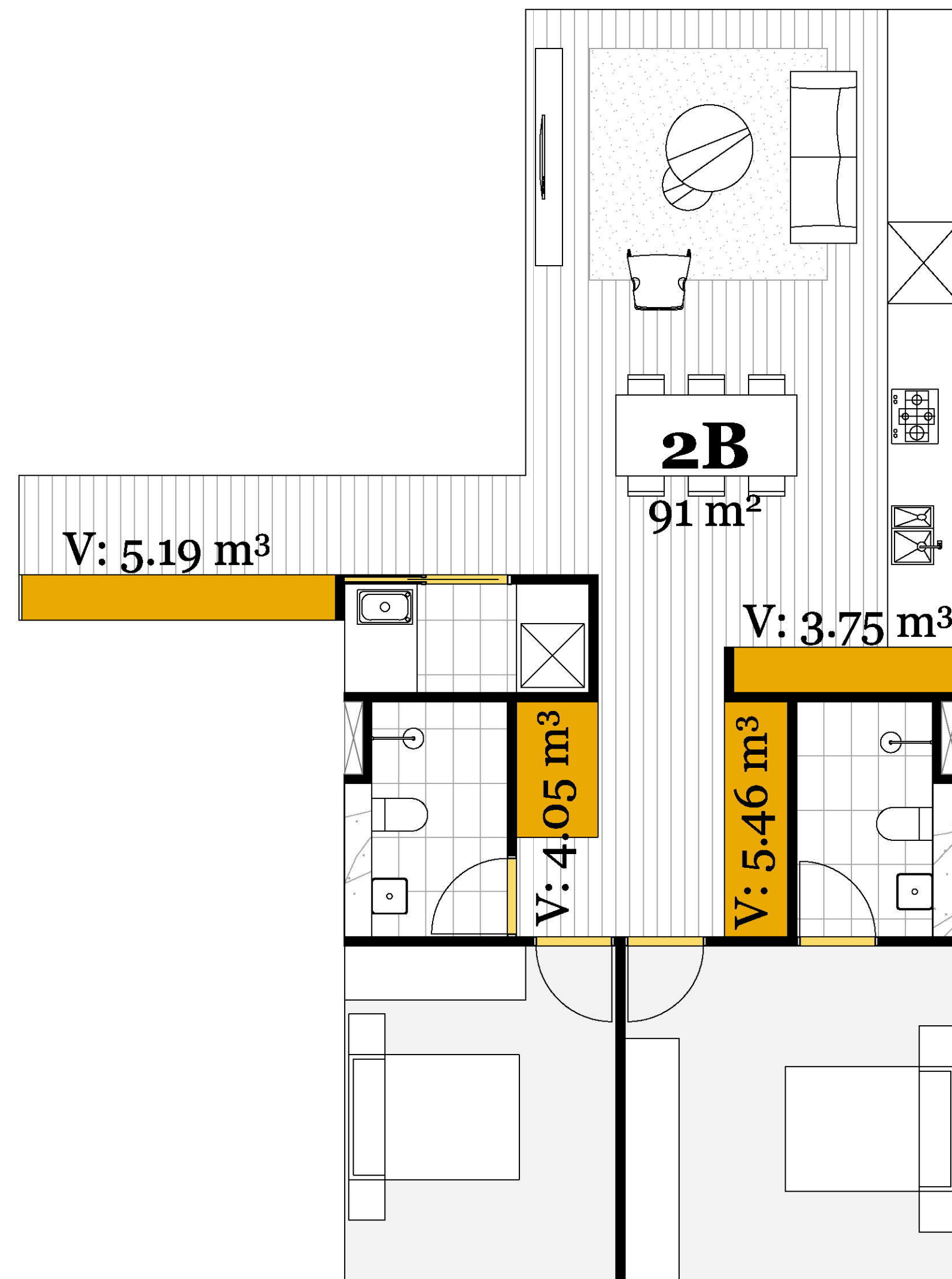
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Drawn By  
 Checked By  
 Date March 2019  
 Scale 1:50 @ A1

Drawing Series Calculations  
 Drawing Name Storage Plans

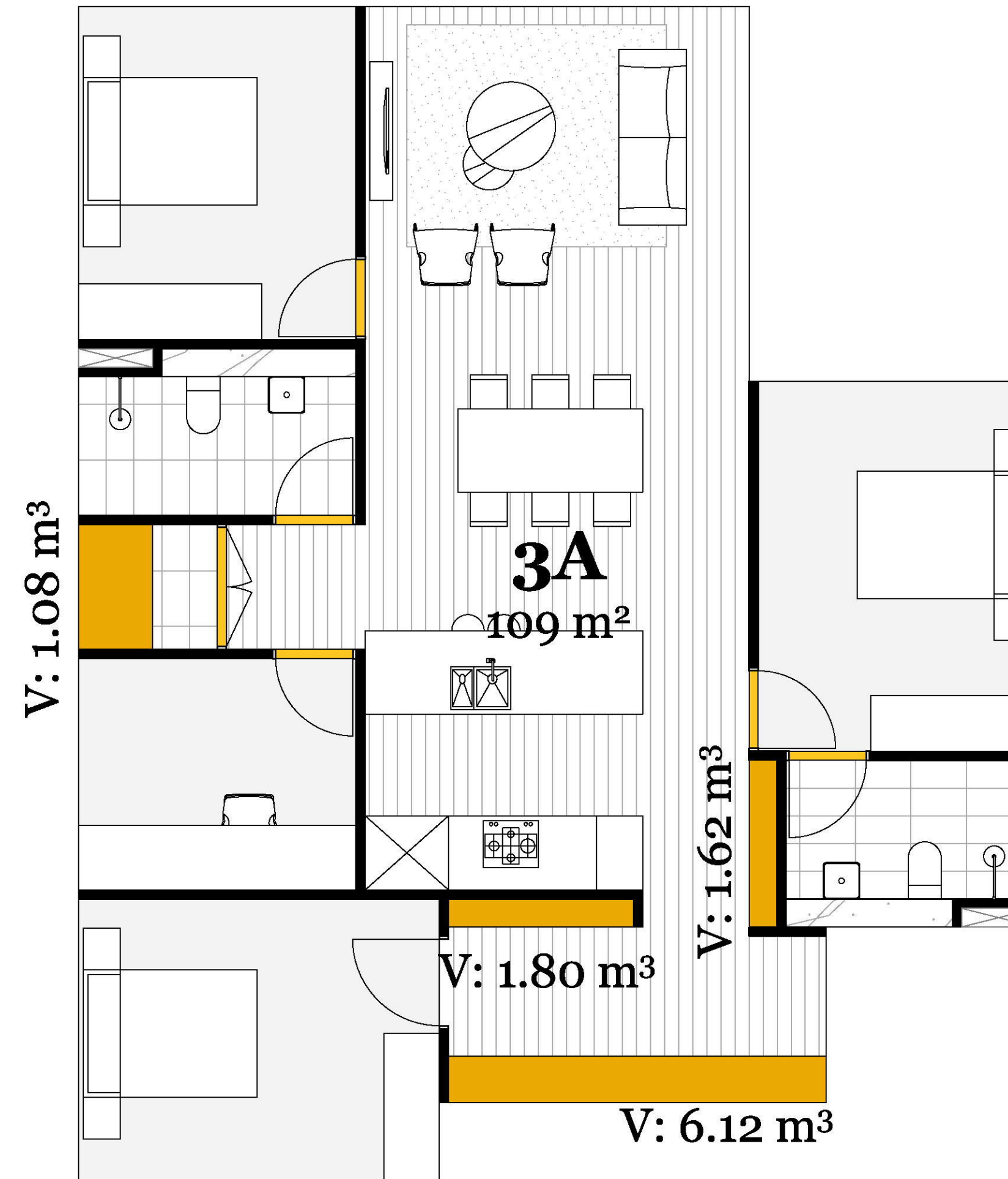
Drawing Number **DA604**  
 Revision **A**



2B

**2 Bed ADG Storage Requirement : 8m³**

18.45m³ provided within the apartment



3A

**3 Bed ADG Storage Requirement : 10m³**

10.62m³ provided within the apartment

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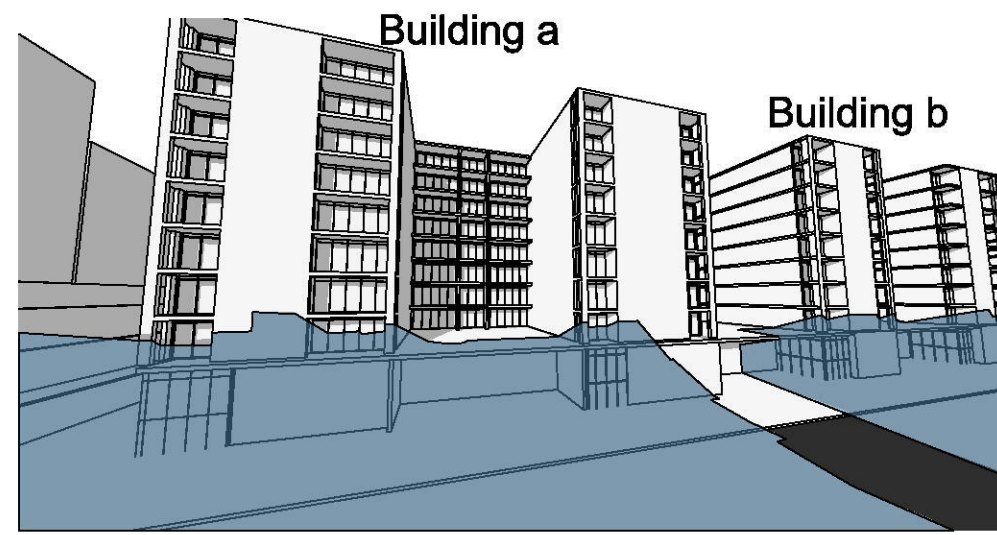
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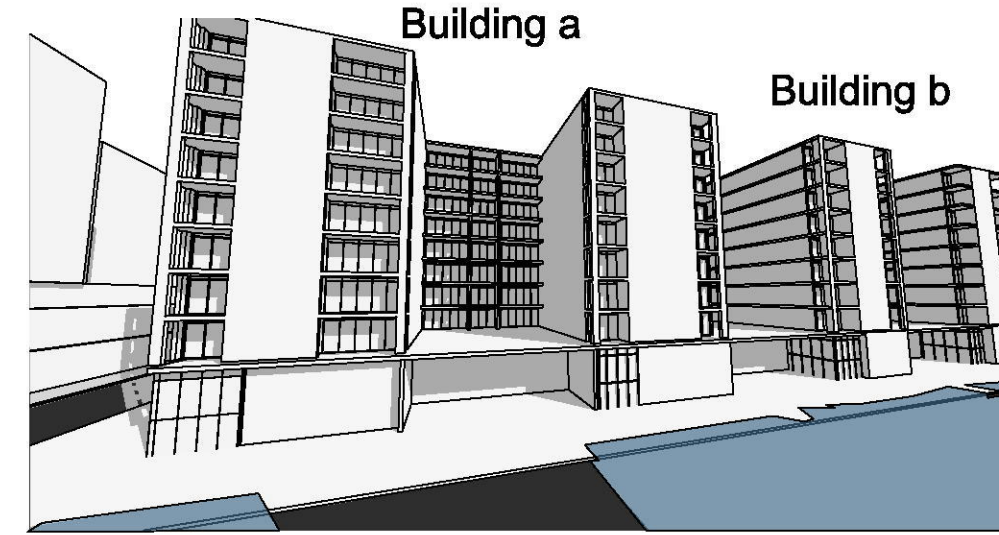
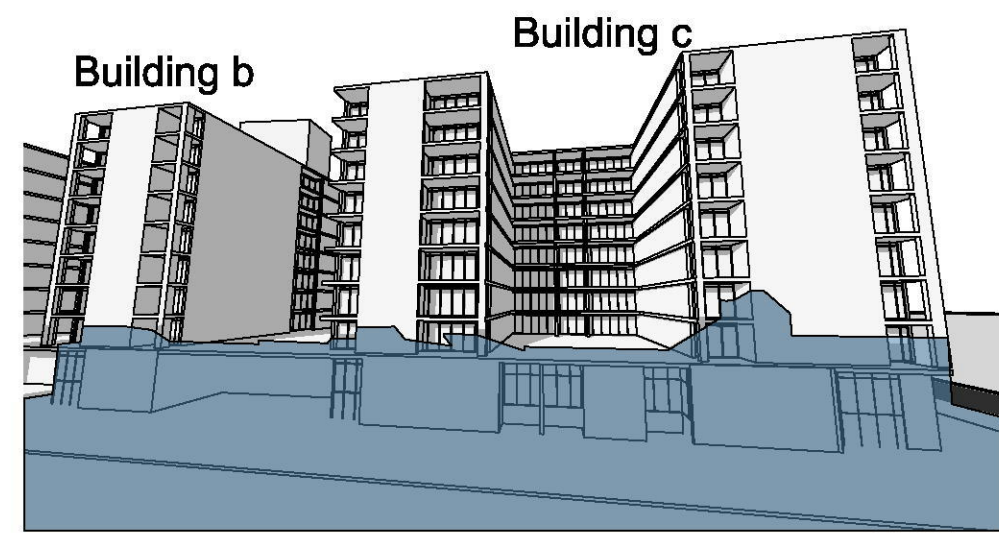
Drawing Series: Calculations  
 Drawing Name: Storage Plans

Drawing Number: DA605  
 Revision: A

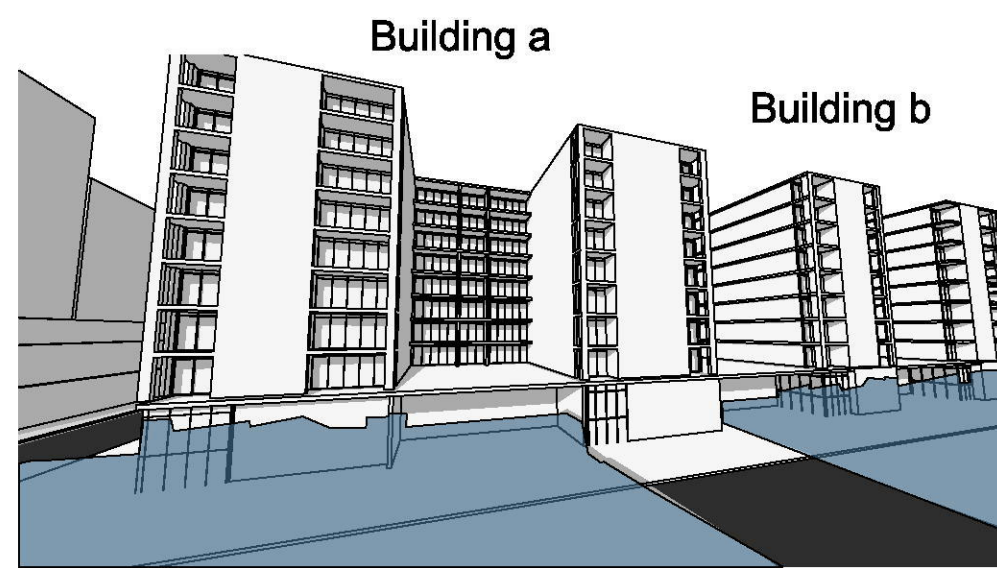
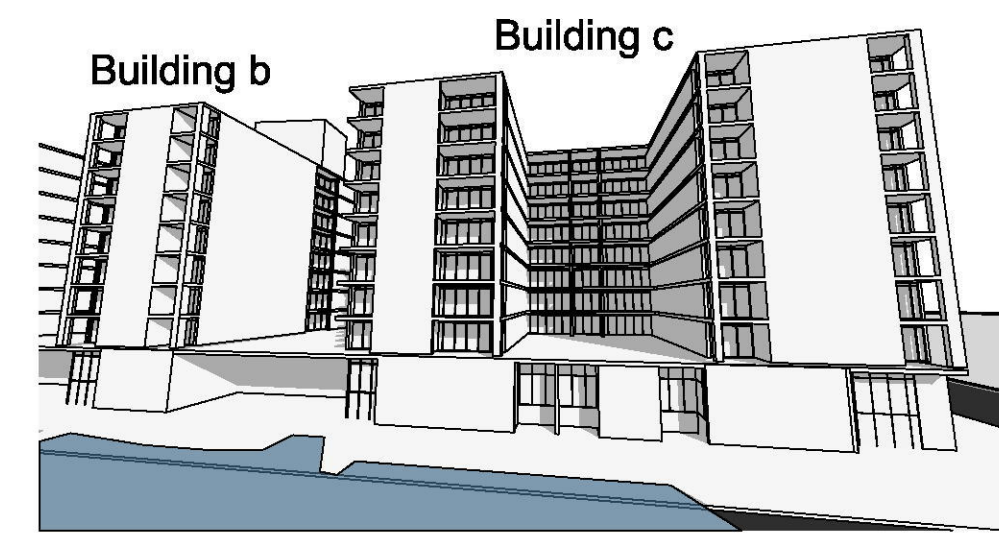
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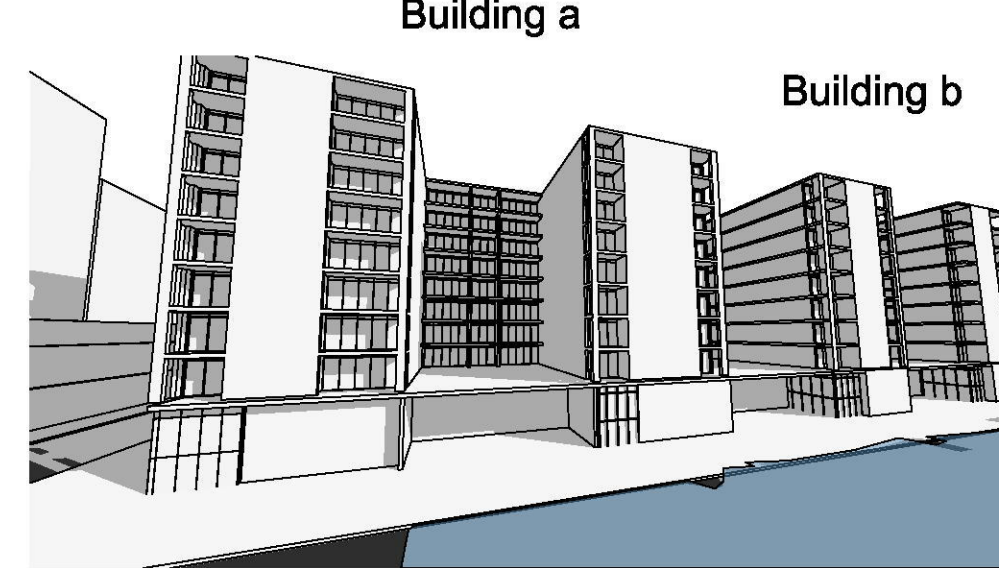
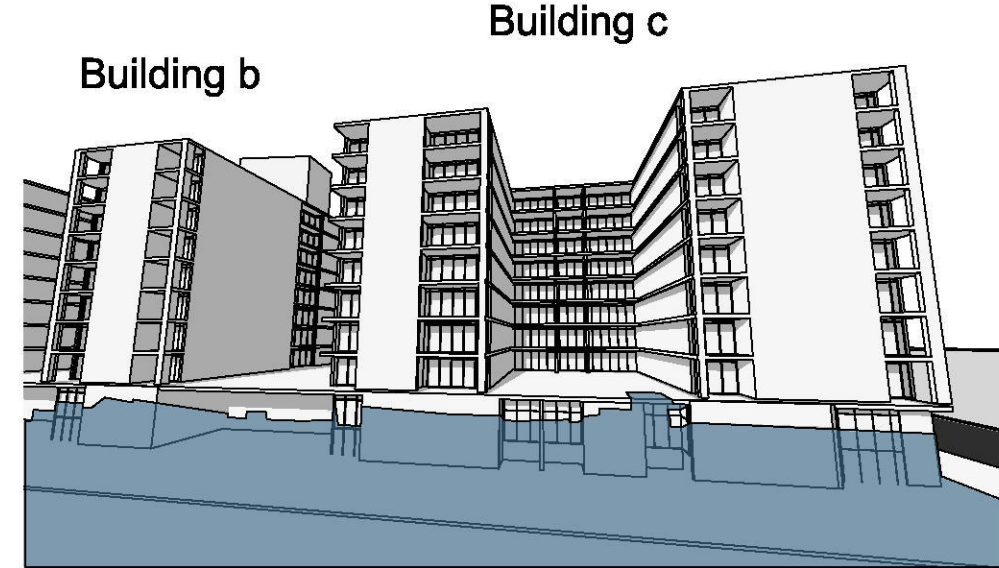
Jun 21st \_9am



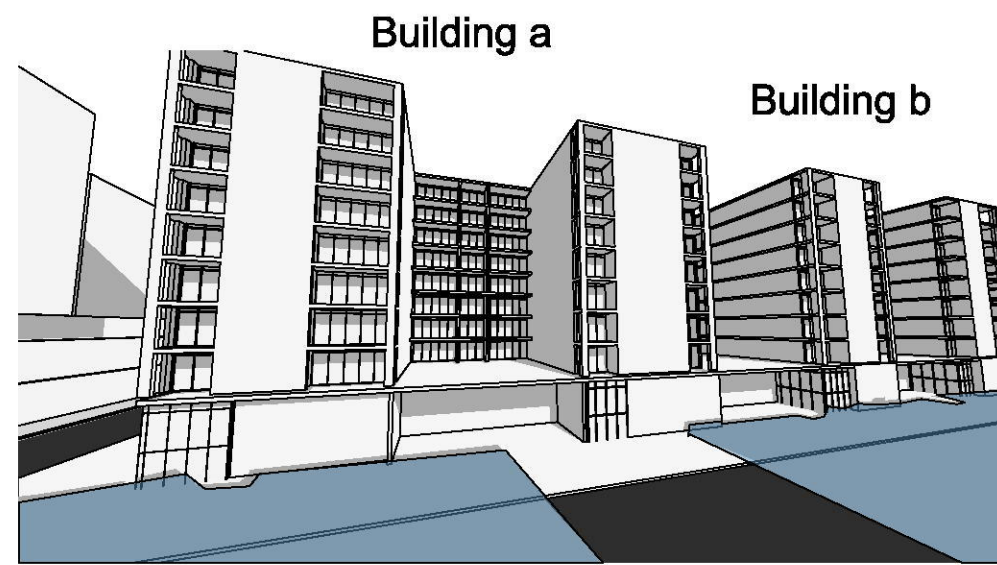
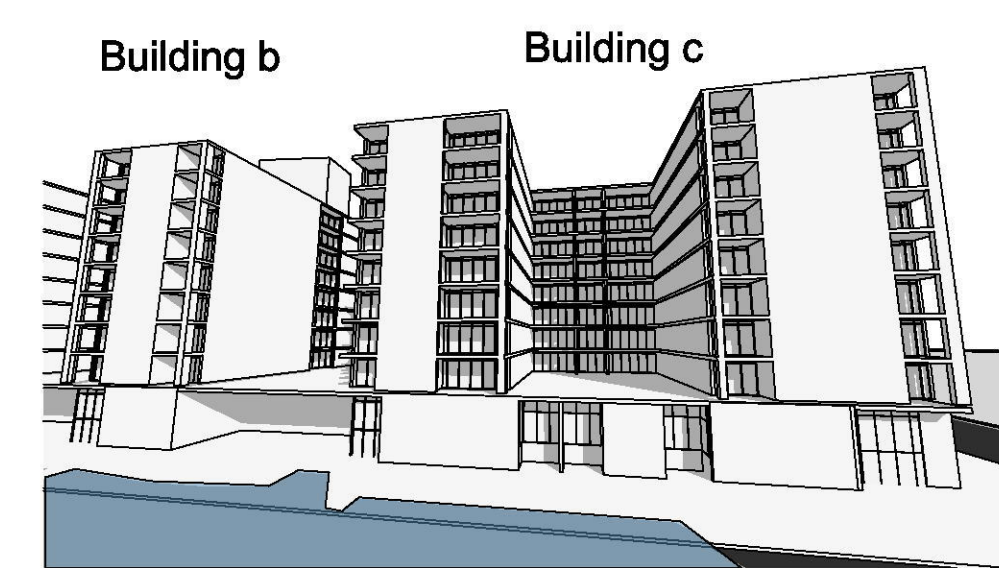
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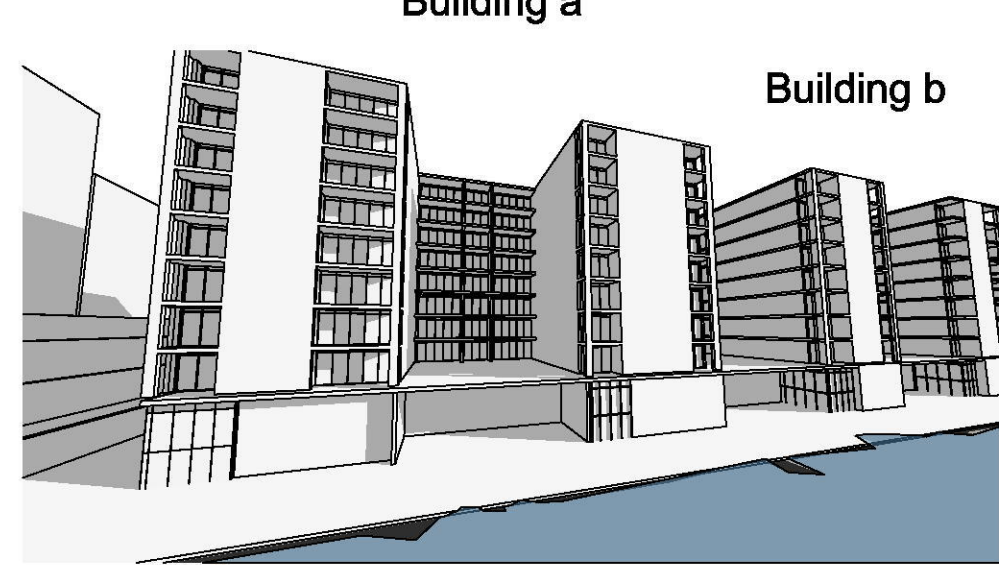
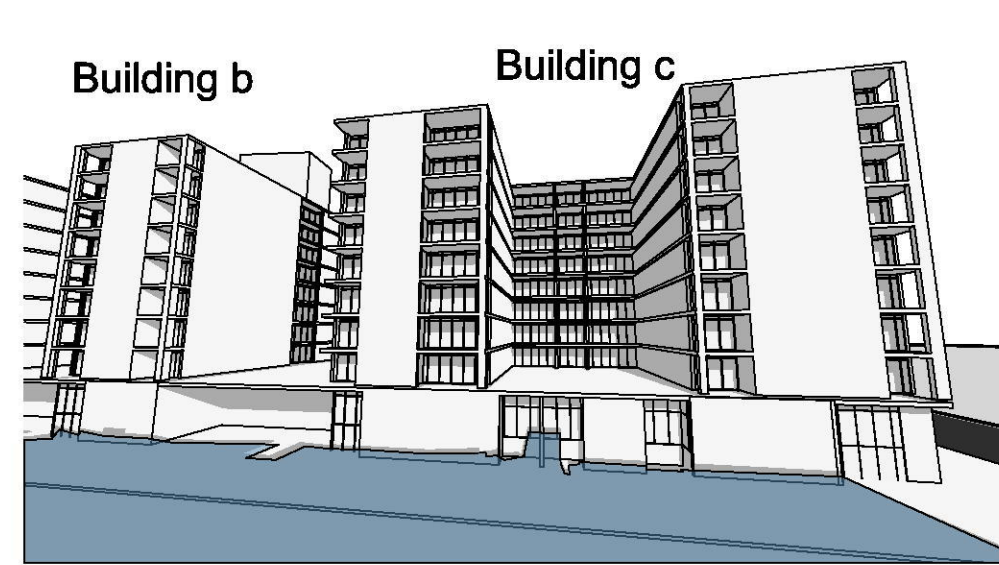
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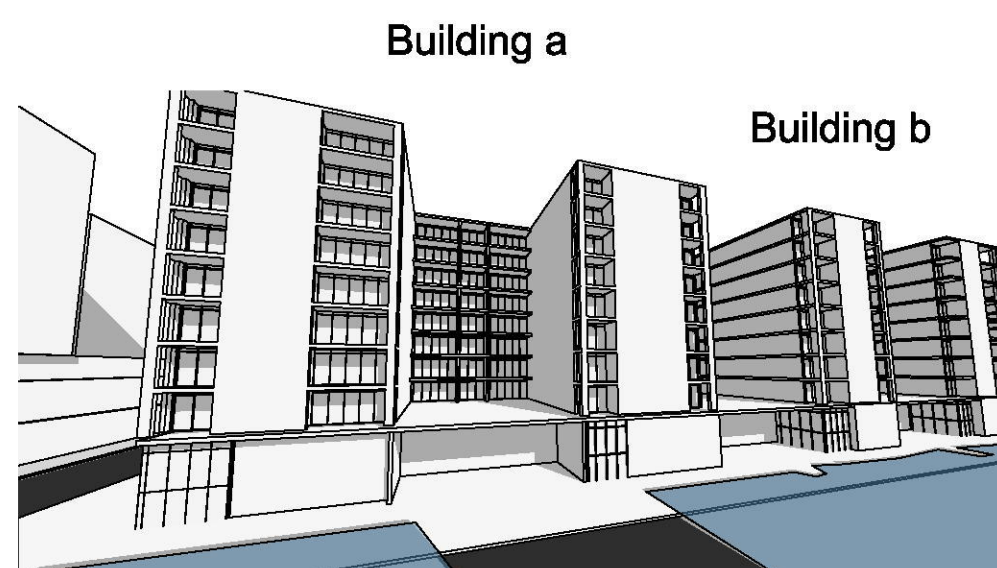
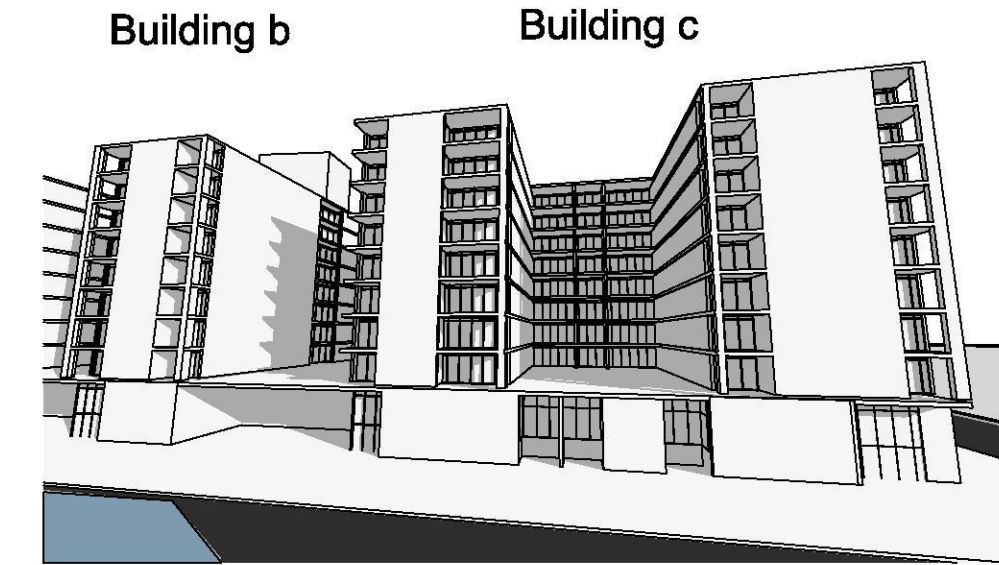
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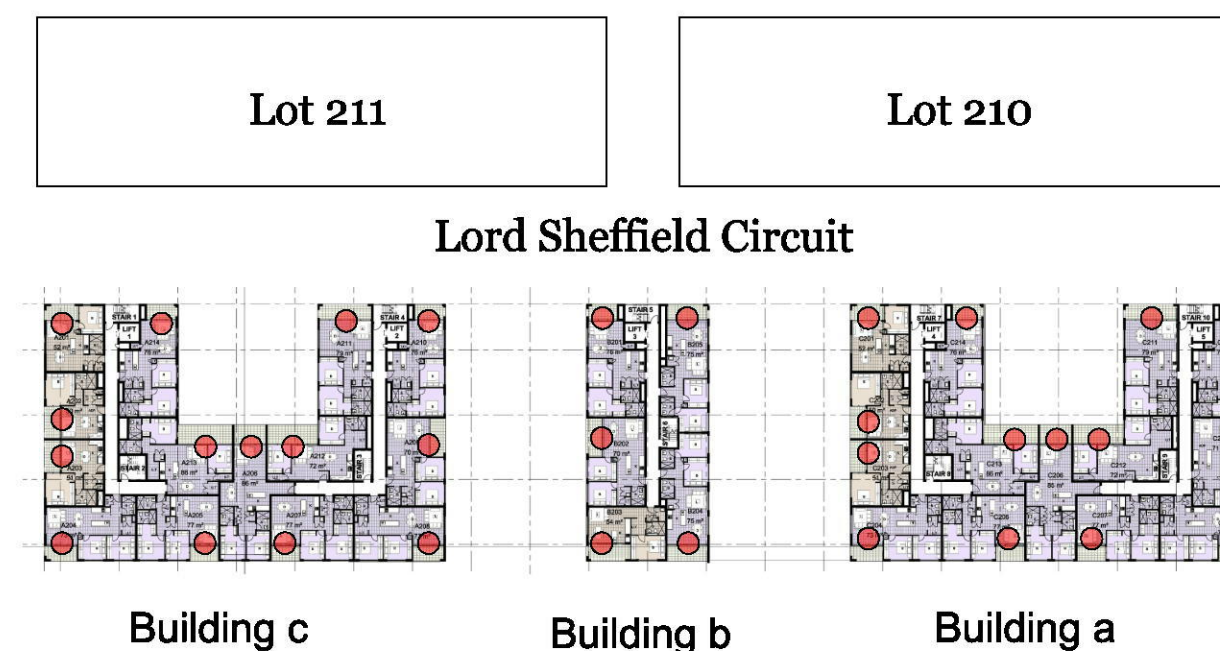
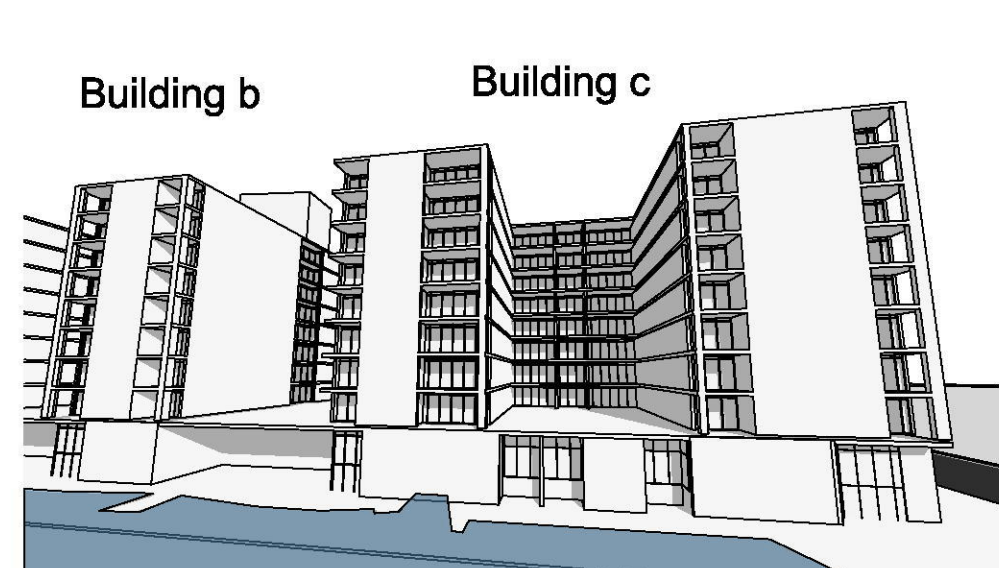
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Jun 21st \_3pm



Jun 21st \_12pm



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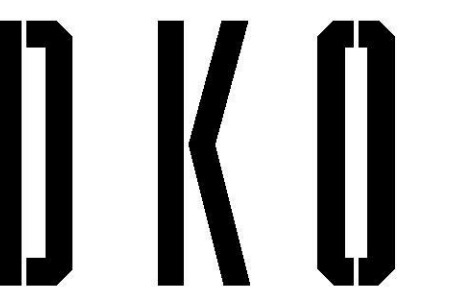
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March 2019  
 1:134995:64, 1:4.84 @ A1

Drawing Series  
 Drawing Name

Shadow & Solar Analysis  
 Shadow Diagram \_ Approved DA

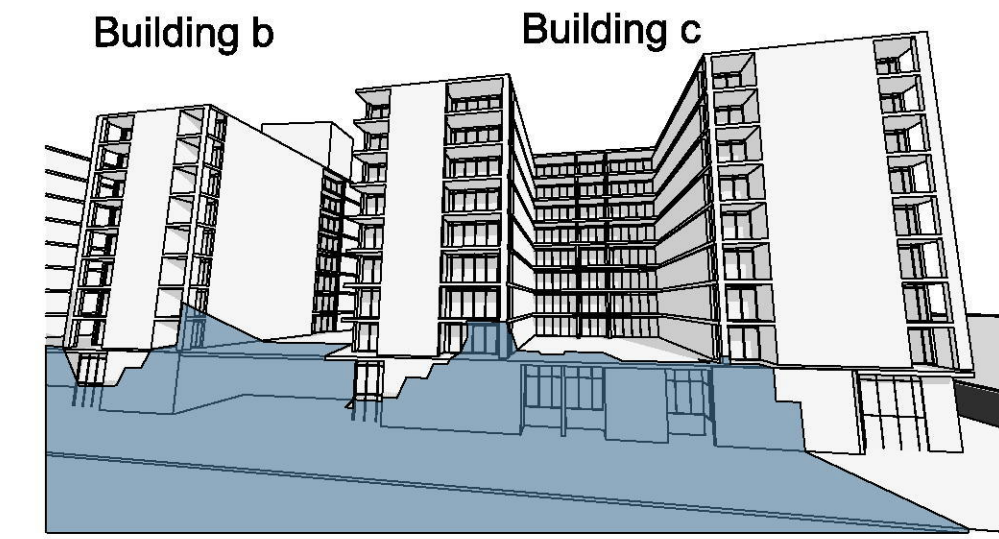
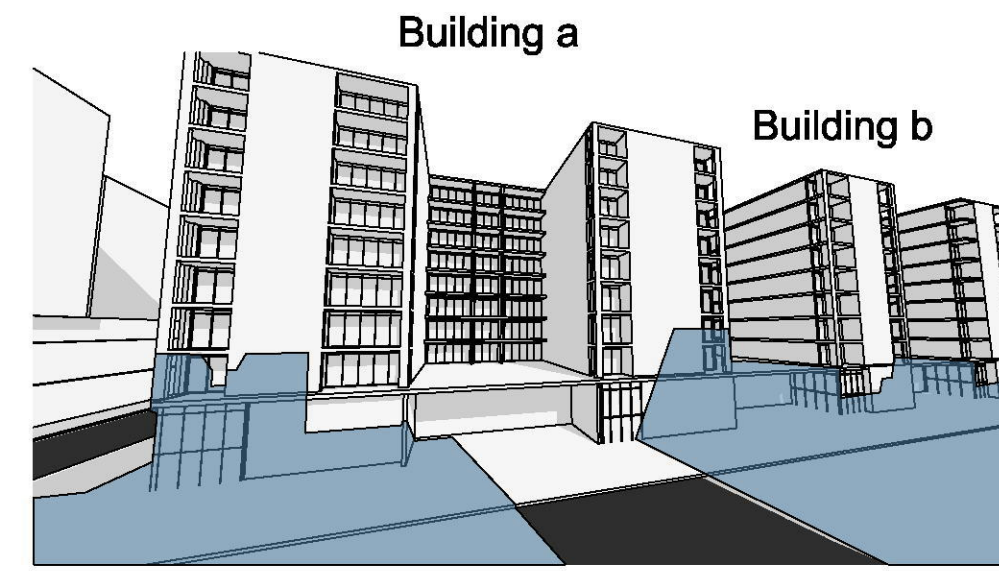
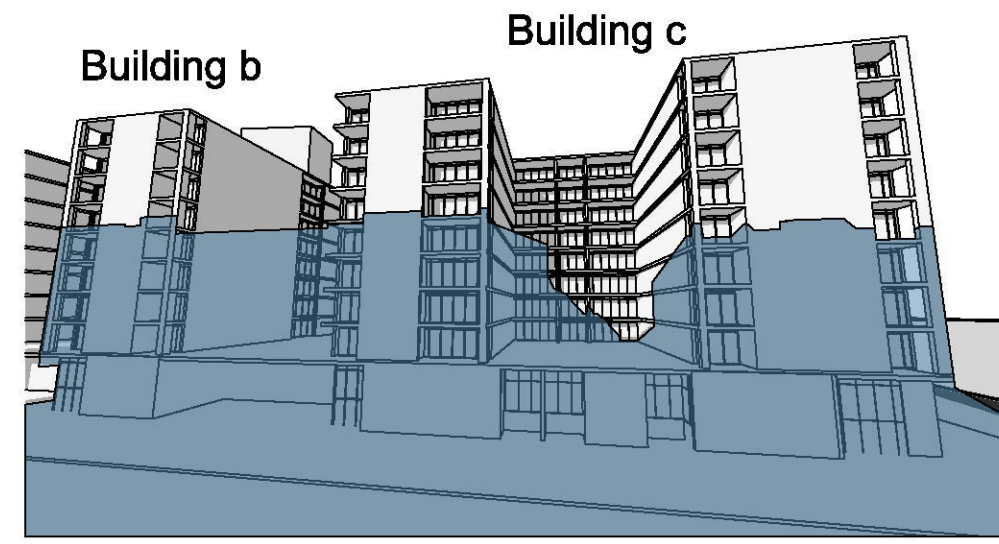
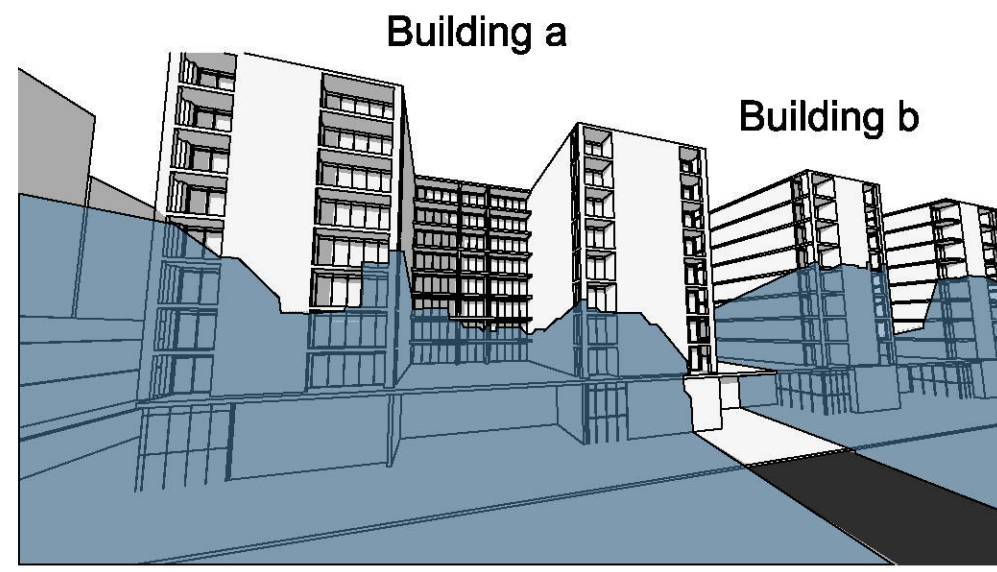
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 Revision **A**



# Proposal

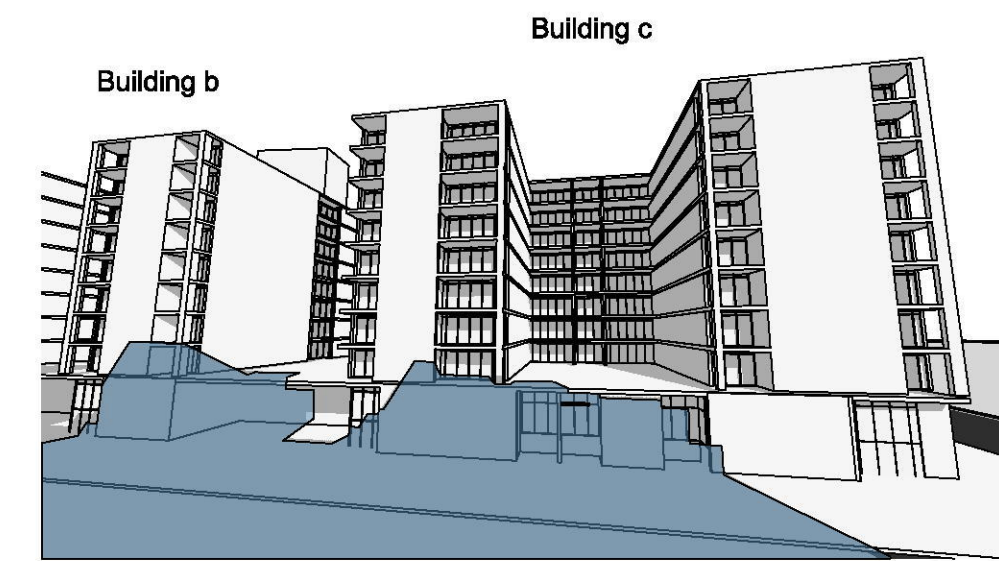
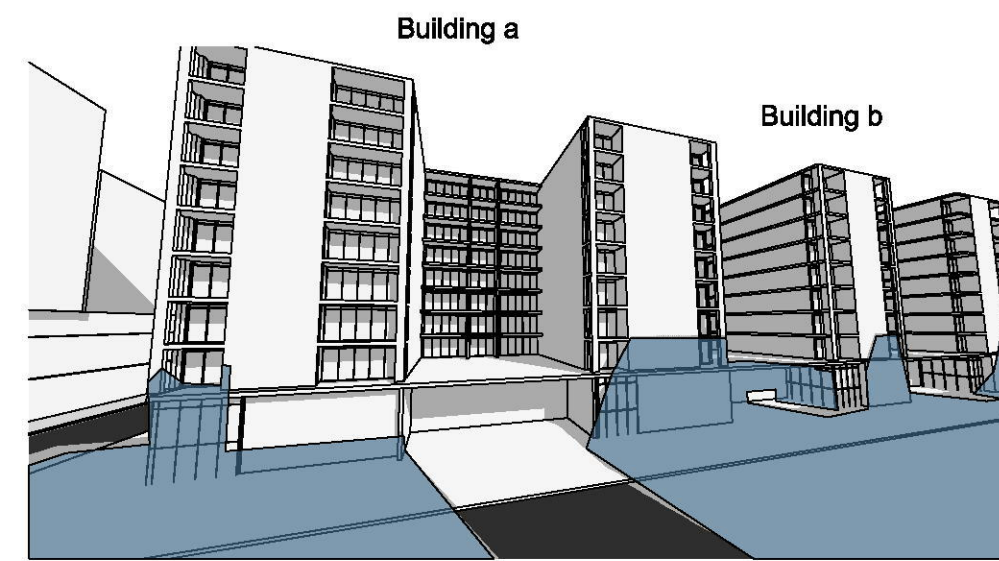
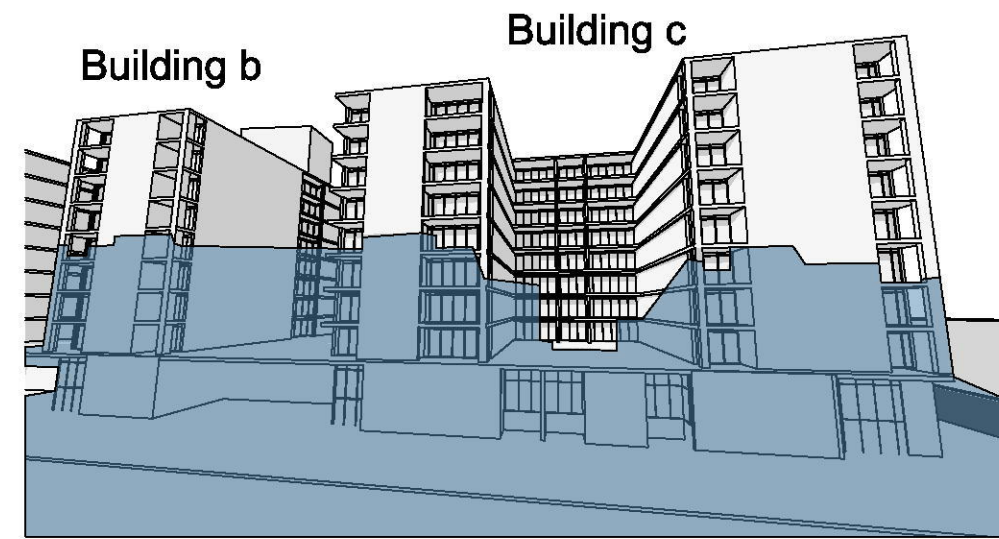
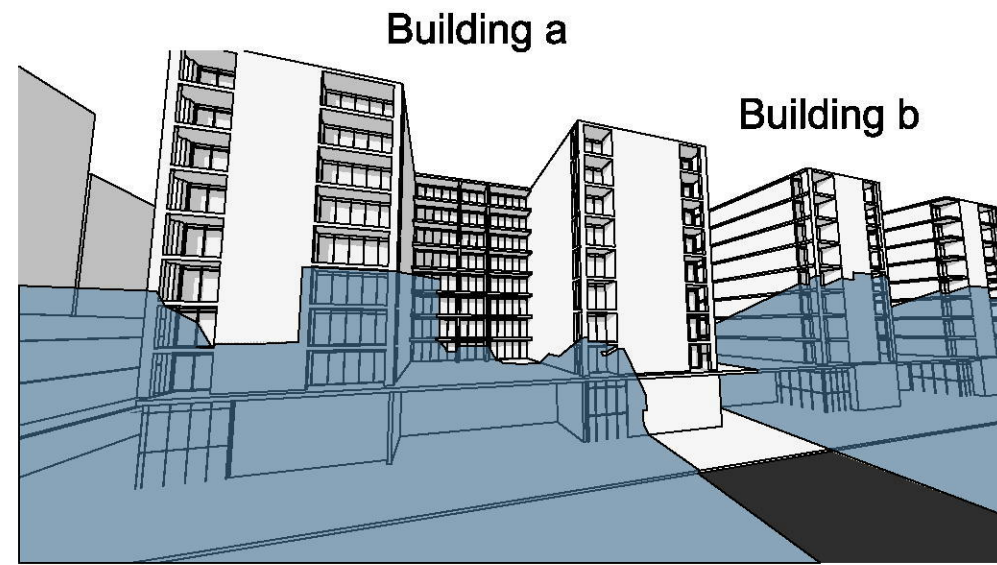
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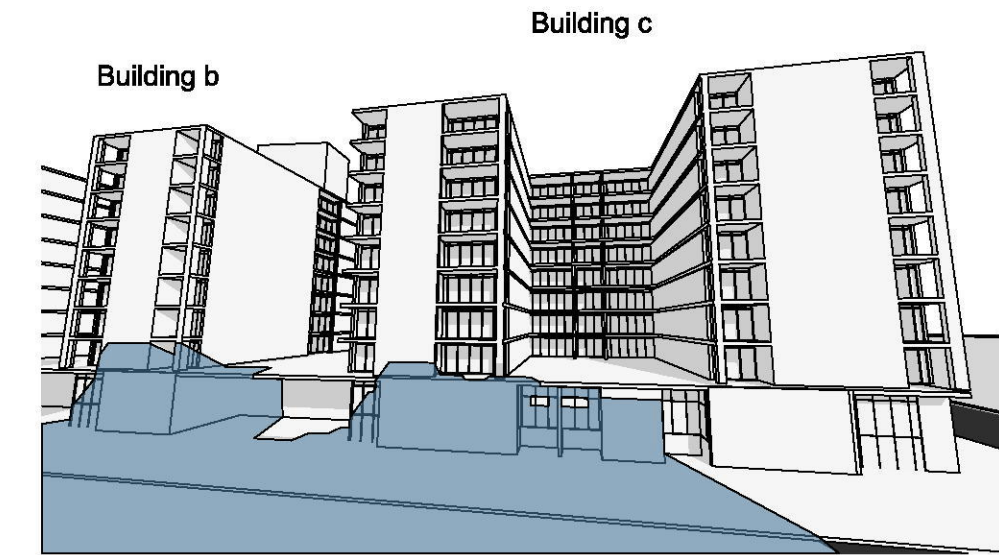
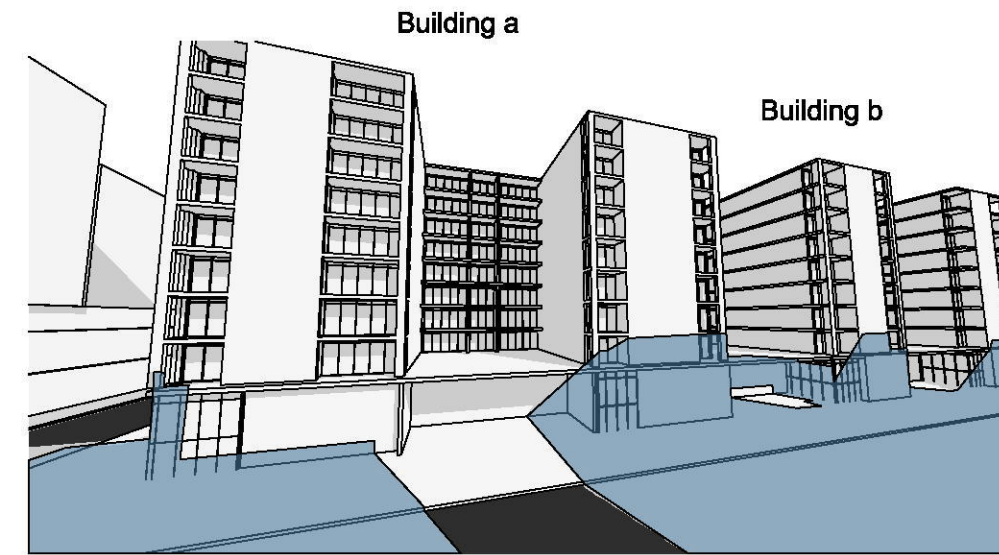
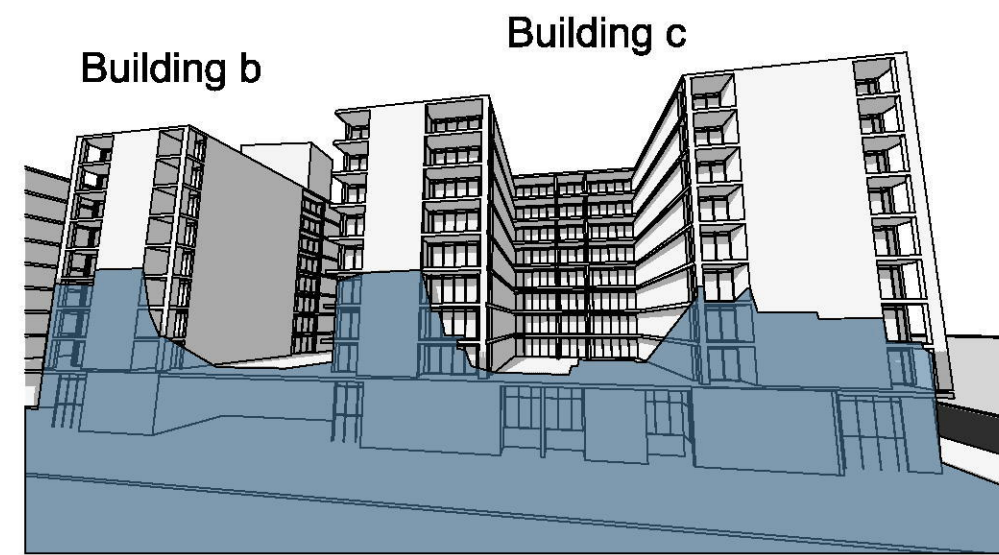
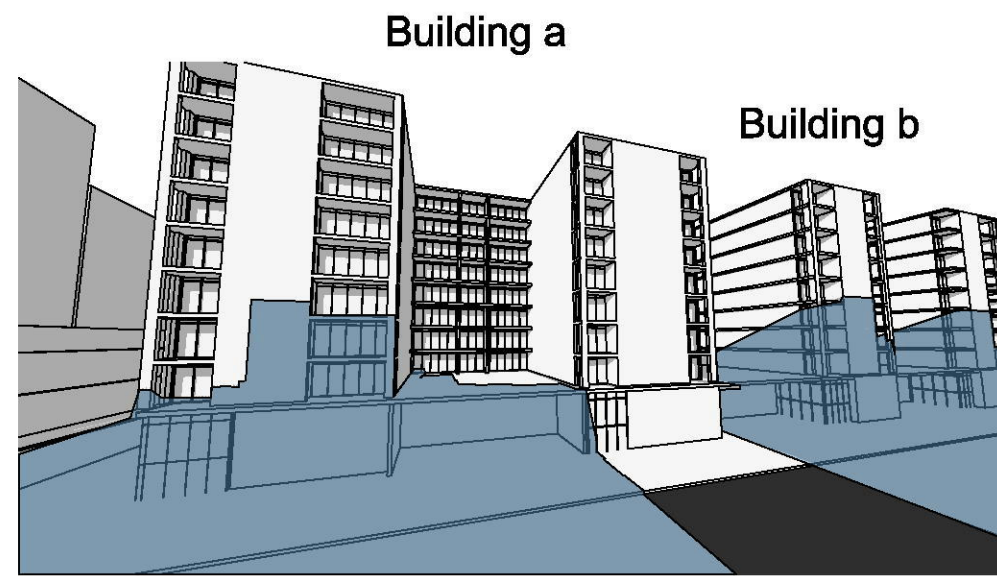
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Jun 21st\_11.30am



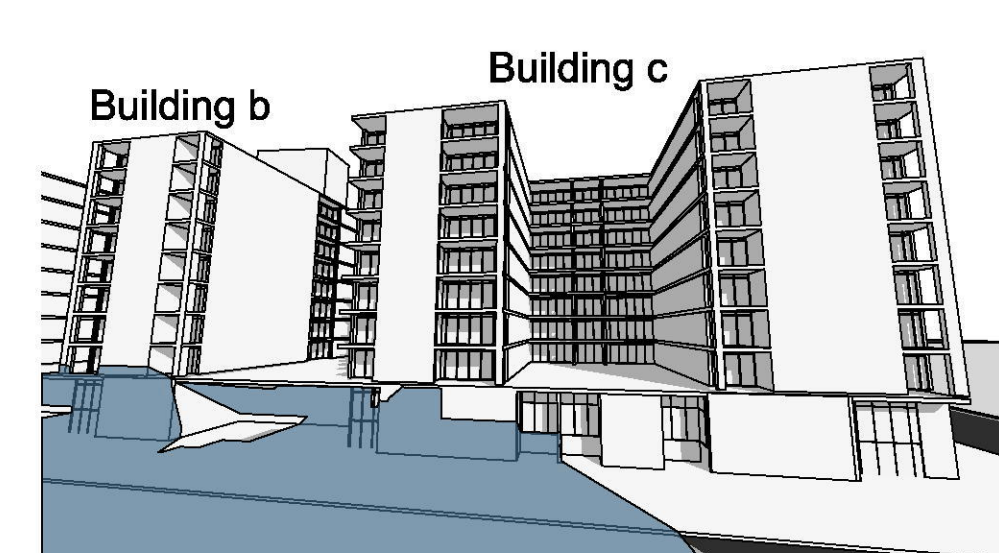
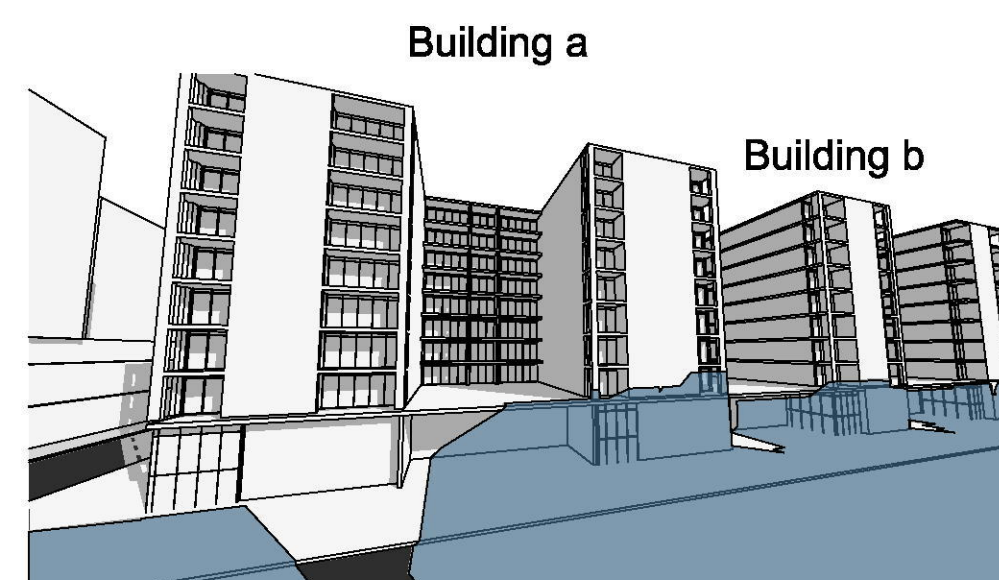
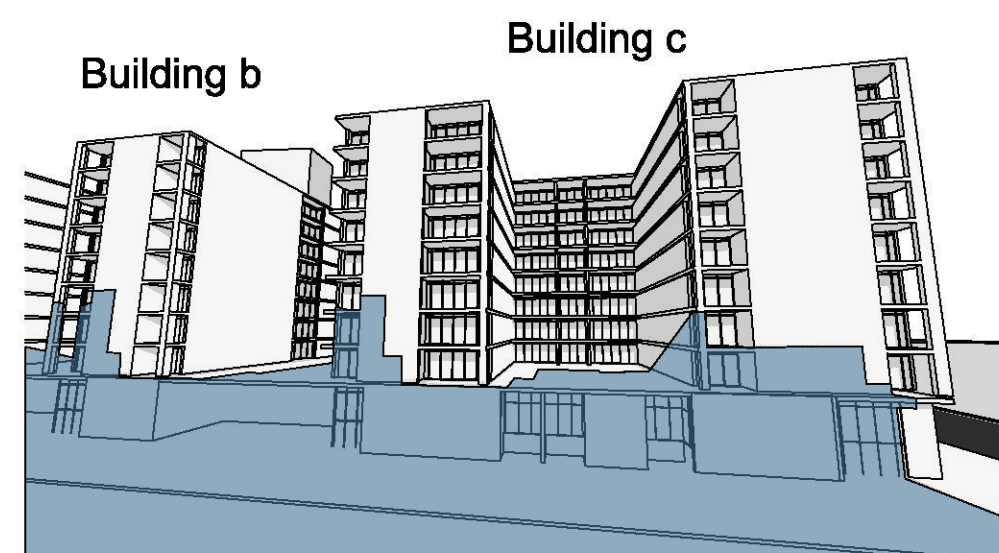
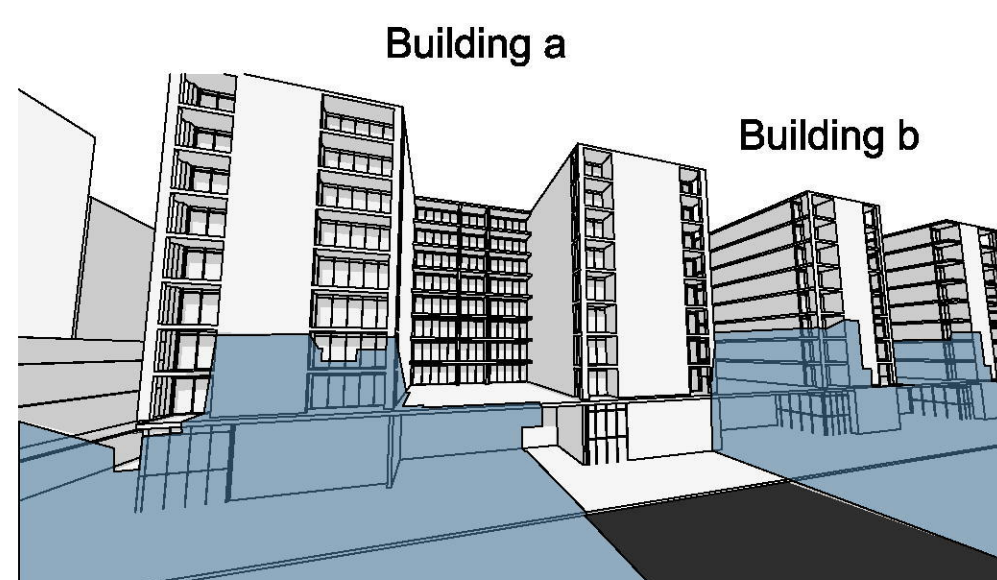
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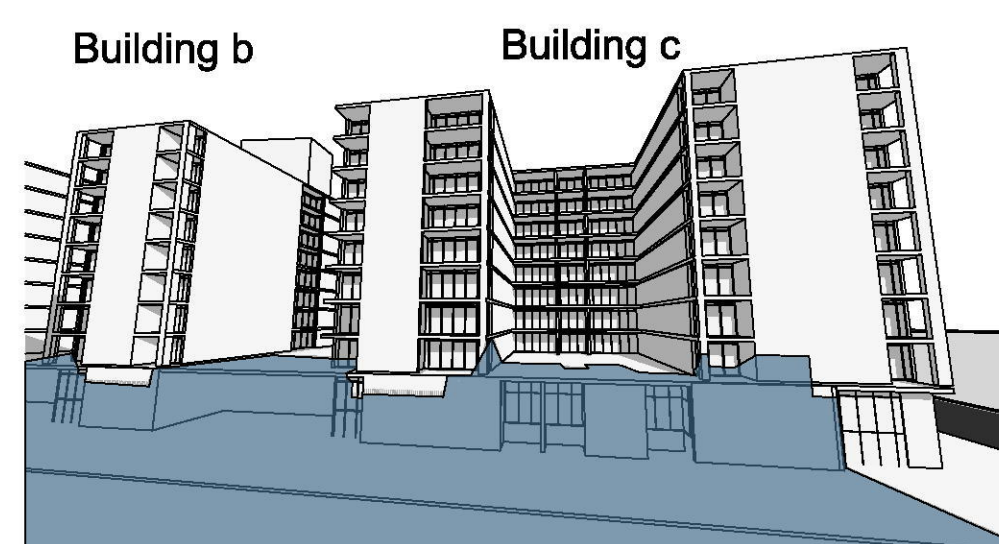
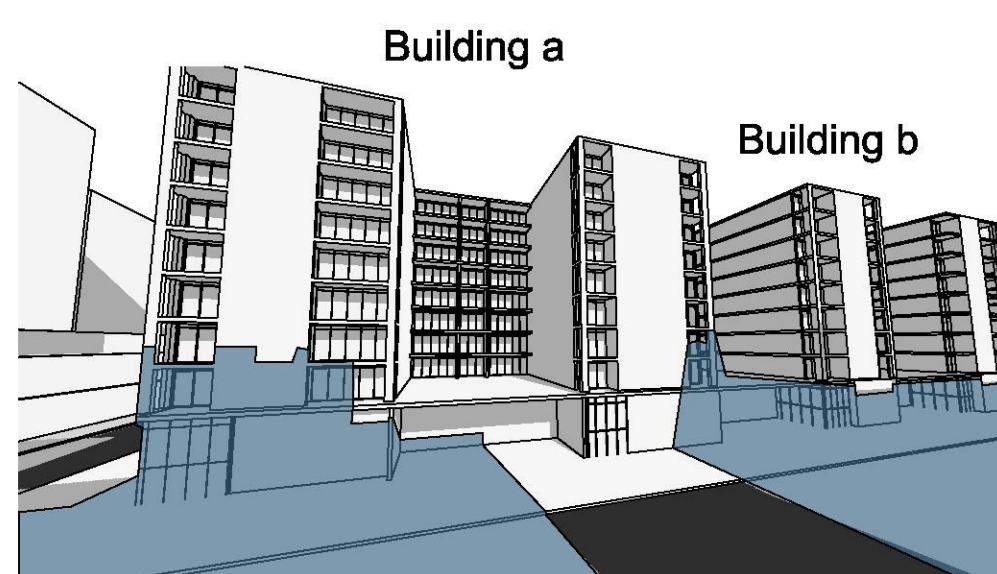
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Jun 21st\_12.15pm



Jun 21st\_10.30am

Jun 21st\_1pm



Jun 21st\_11am

Rev.	Date	By	Ckd	Description
A	06/04/19	MF	SO	Issue for Submission

Client Details  
 Urban Property Group  
 Patrick Elias



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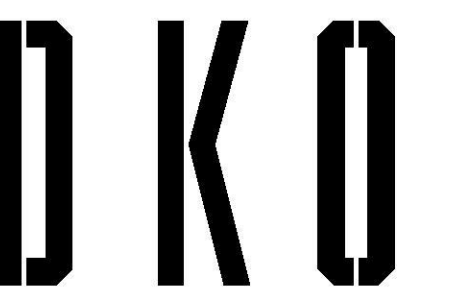
**Electrical - Tricom**  
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 NSW: Nominated Architects  
 Koos de Keijzer 5767  
 David Randerson 8542

Project Name  
 Project Number  
 Project Address

Drawn By  
 Checked By  
 Date  
 Scale

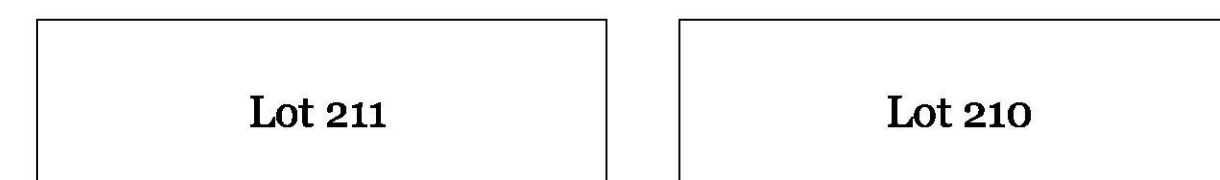
Lord Sheffield Circuit Penrith  
 12116  
 Lot 210&211 Lord Sheffield  
 Circuit,  
 Penrith, NSW 2075

March 2019  
 1:134995:64, 1:4.84 @ A1

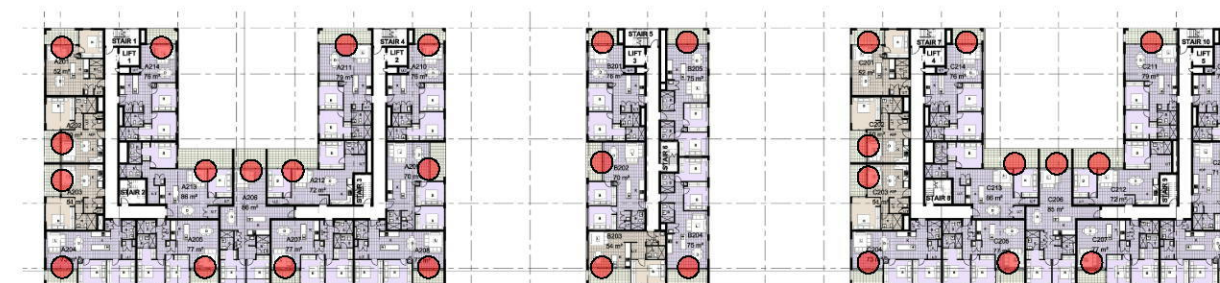
Drawing Series  
 Drawing Name

Shadow & Solar Analysis  
 Shadow Diagram\_Proposal

Drawing Number **DA506**  
 Revision **A**



Lord Sheffield Circuit

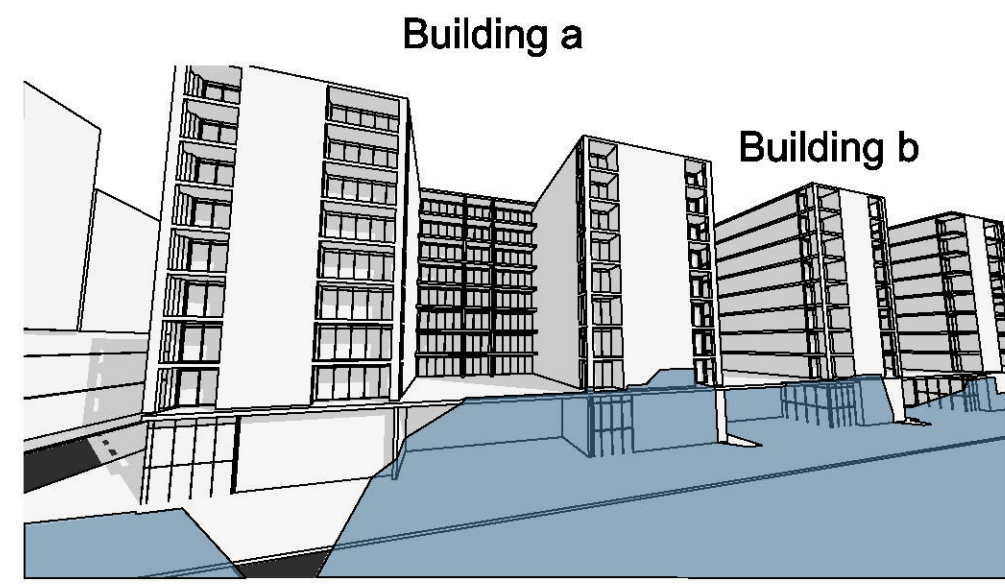


Building c Building b Building a  
 Approved DA Shadow casting \_ 21st Jun

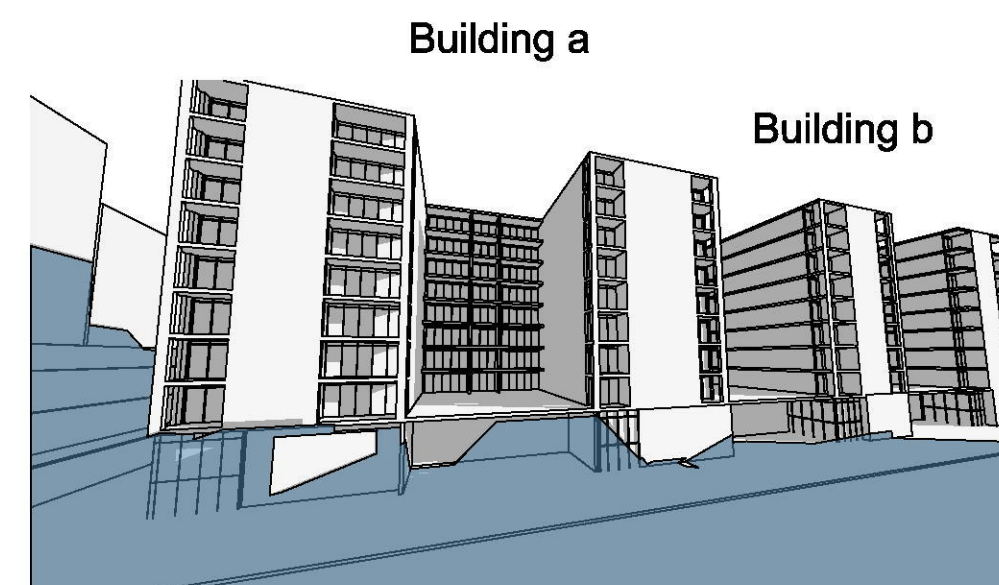
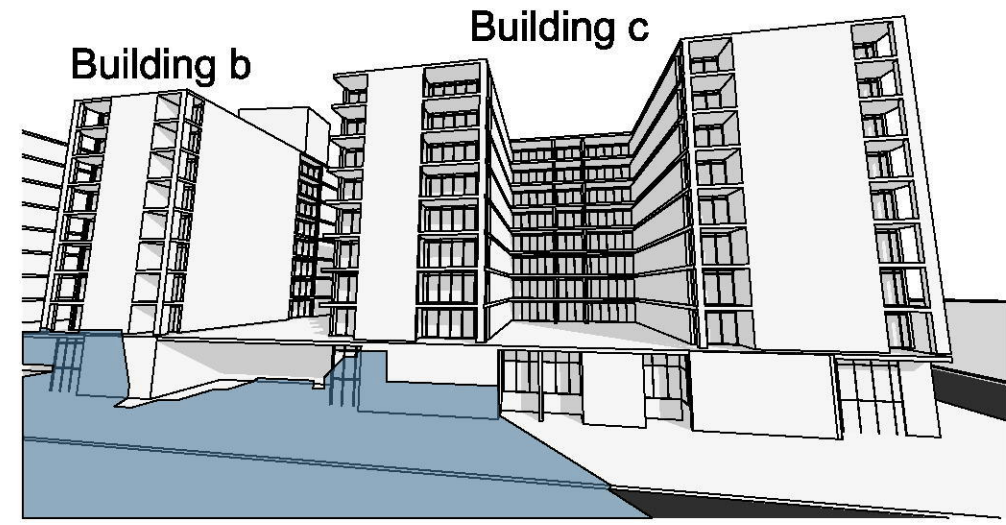
# Proposal

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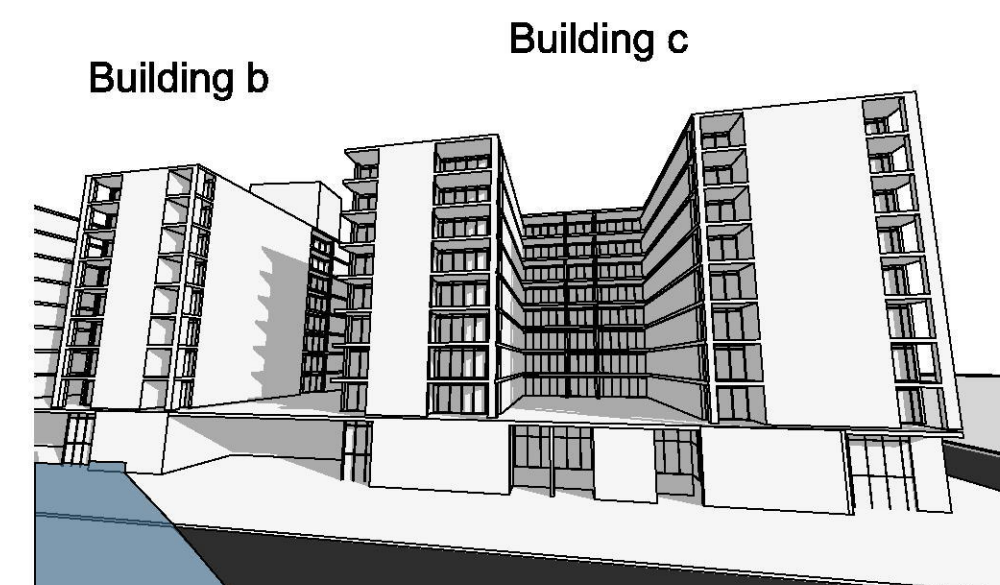
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Jun 21st \_1.15pm



Jun 21st \_3pm



Rev.	Date	By	Ckd	Description
A	06/04/19	MF	SO	Issue for Submission

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 Urban Property Group  
 Patrick Elias



Consultants

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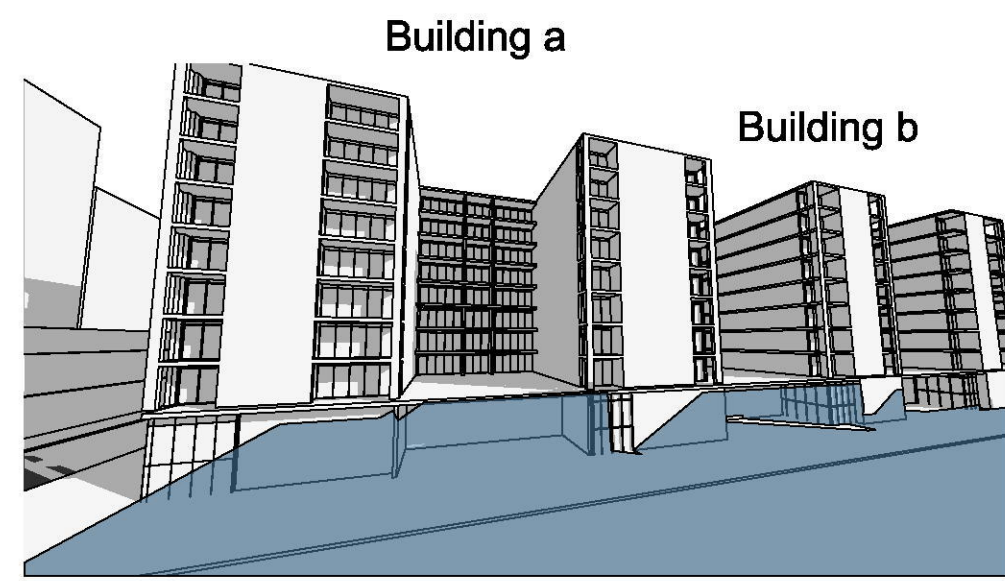
**Electrical - Tricom**  
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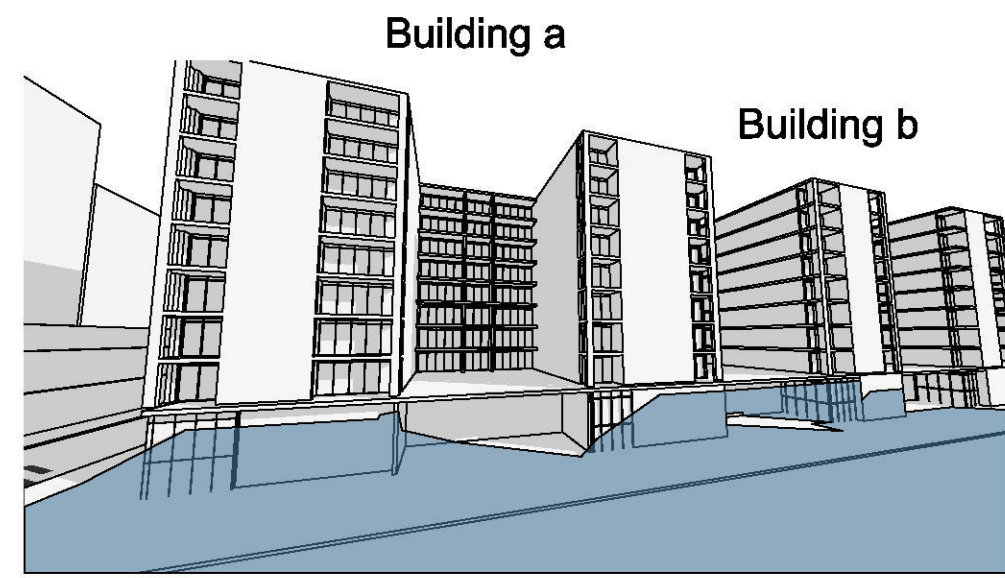
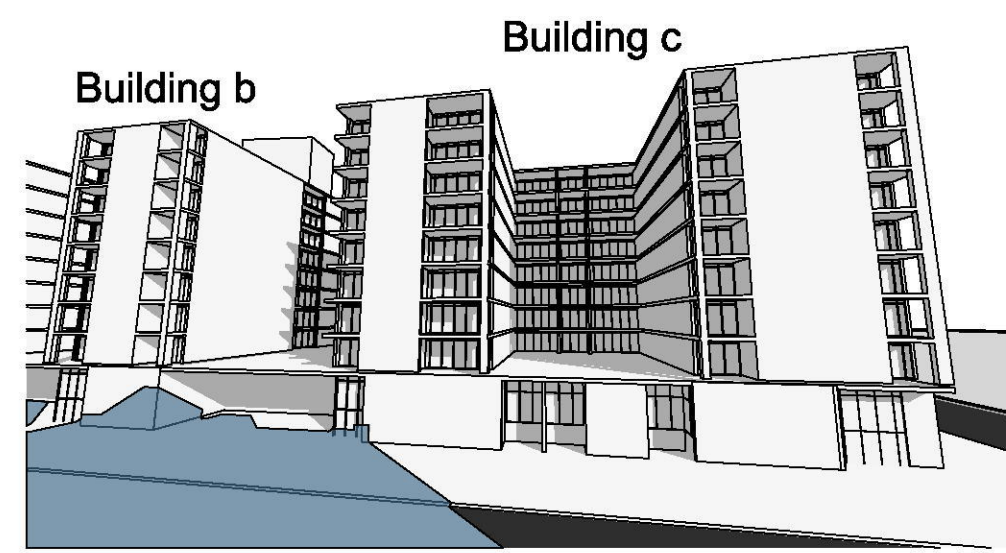
**Structure - Ace**  
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**Private Certifier - CBS**  
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 Steven@certified.net.au

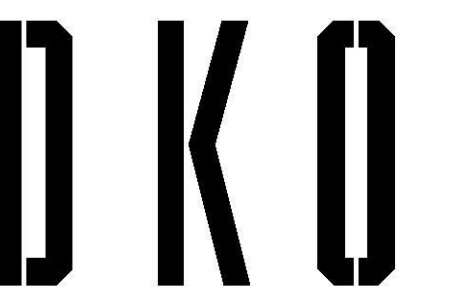
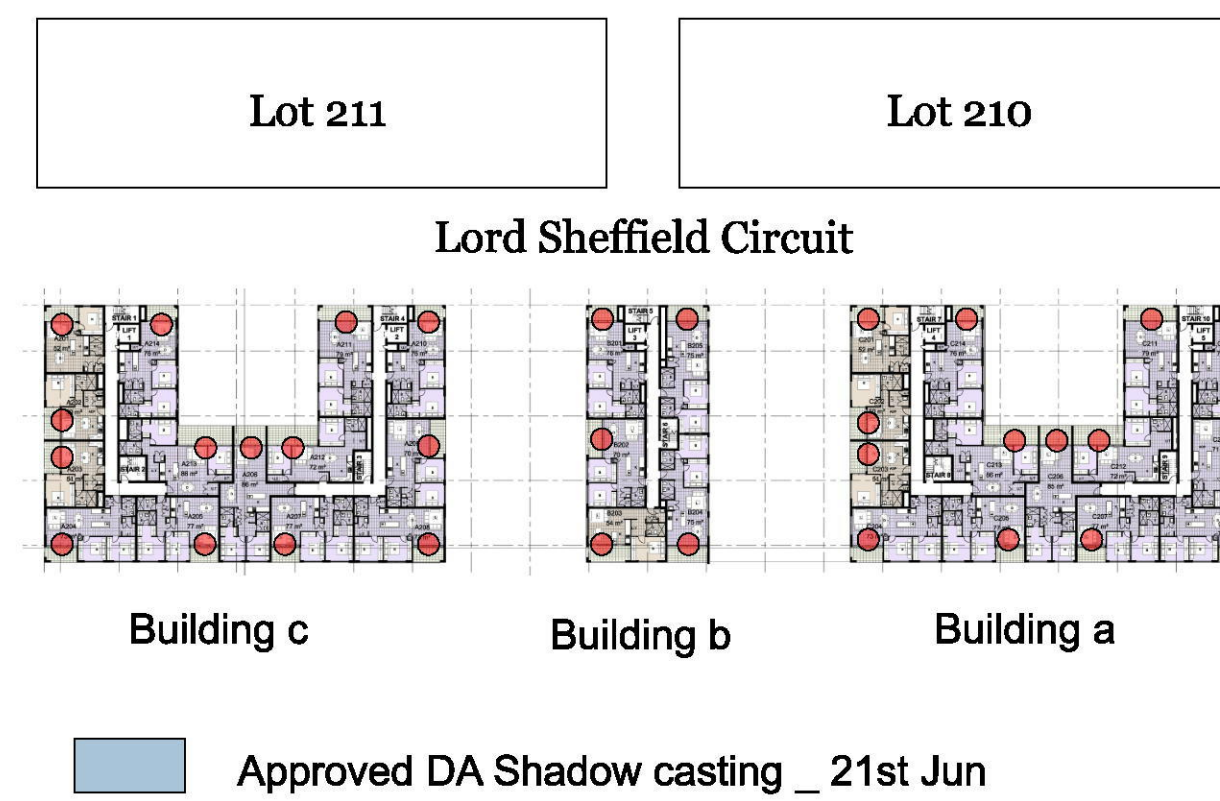
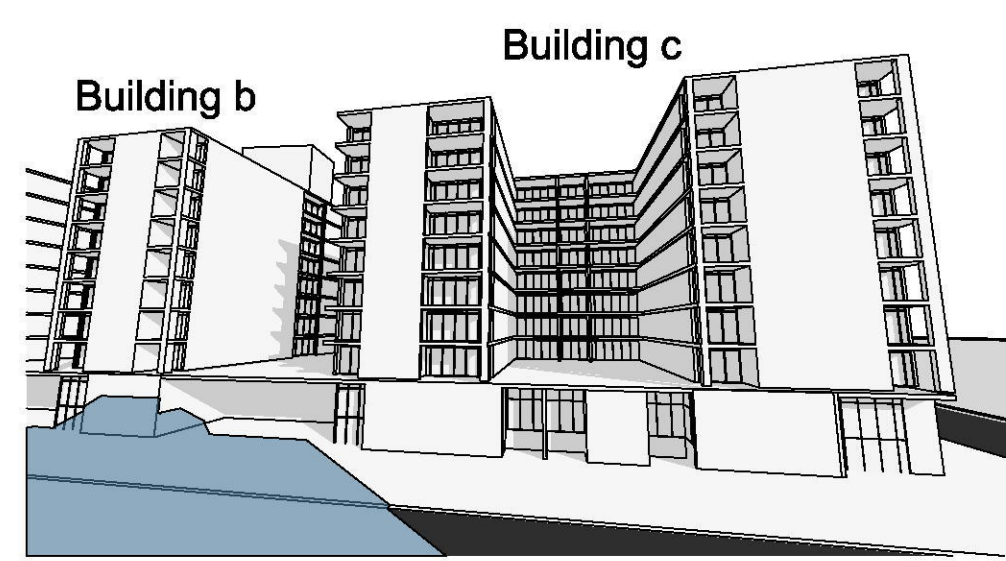
**Hydraulic - Scott Collis**  
 Scott Collis  
 scott@scottcollis.com.au



Jun 21st \_2pm



Jun 21st \_2.15pm



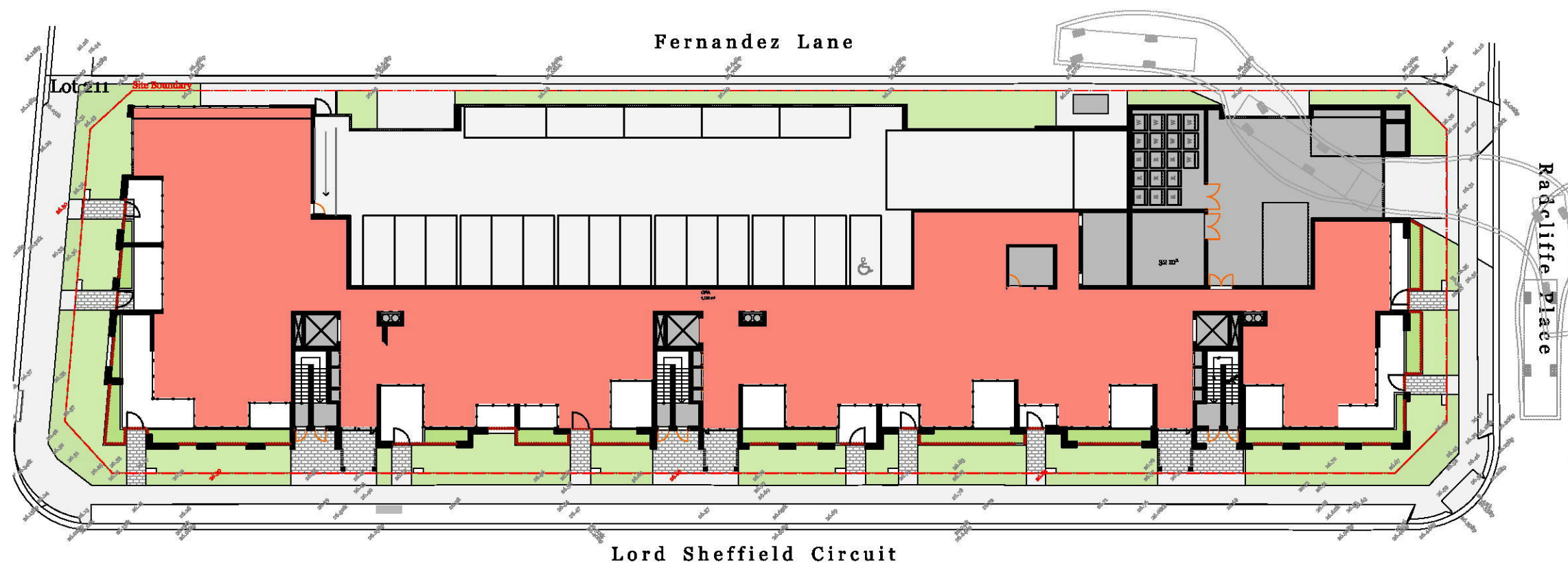
DKO Architecture (NSW) Pty Ltd  
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 Kees de Keijzer 5767  
 David Randerson 8542

Project Name      Lord Sheffield Circuit Penrith  
 Project Number      12116  
 Project Address      Lot 210&211 Lord Sheffield Circuit, Penrith, NSW 2075

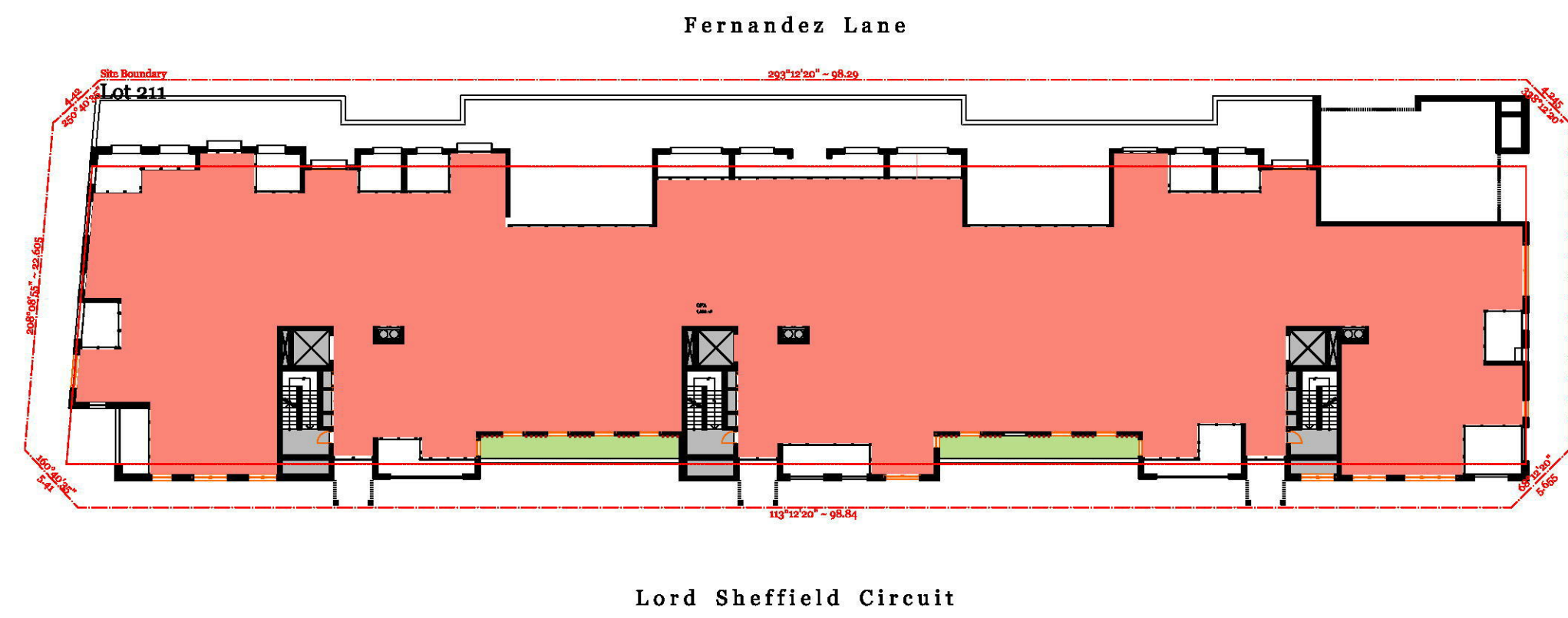
Drawn By  
 Checked By  
 Date      March 2019  
 Scale      1:4.84, 1:134995.64 @ A1

Drawing Series      Shadow & Solar Analysis  
 Drawing Name      Shadow Diagram \_ Proposal

Drawing Number      DA507  
 Revision      A



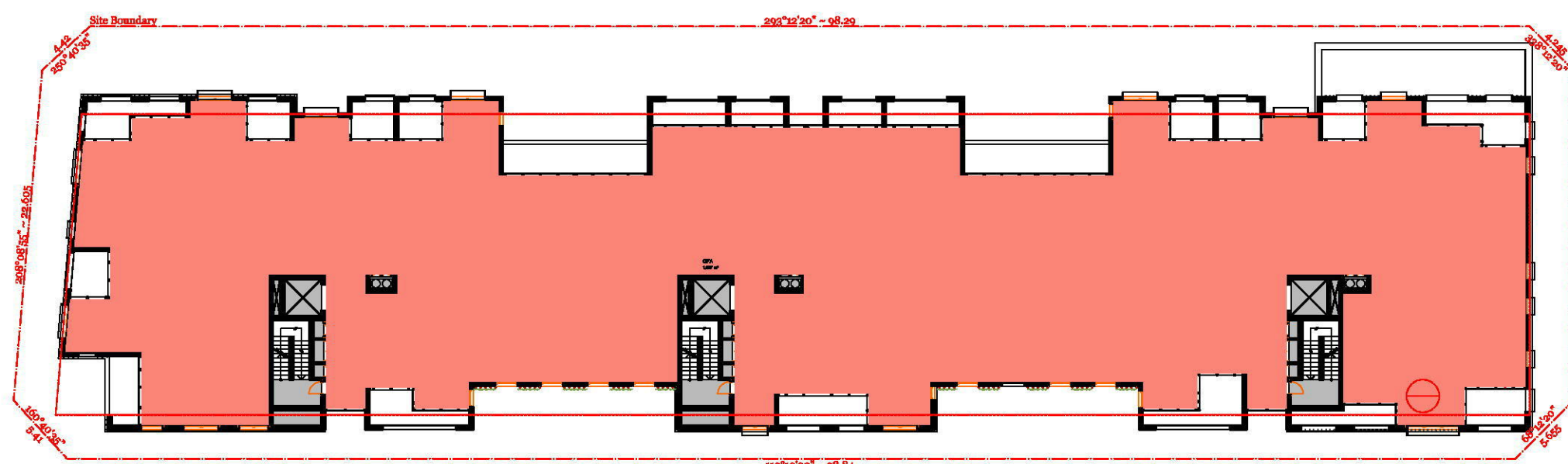
Ground Floor 1:400



Level 1 1:400

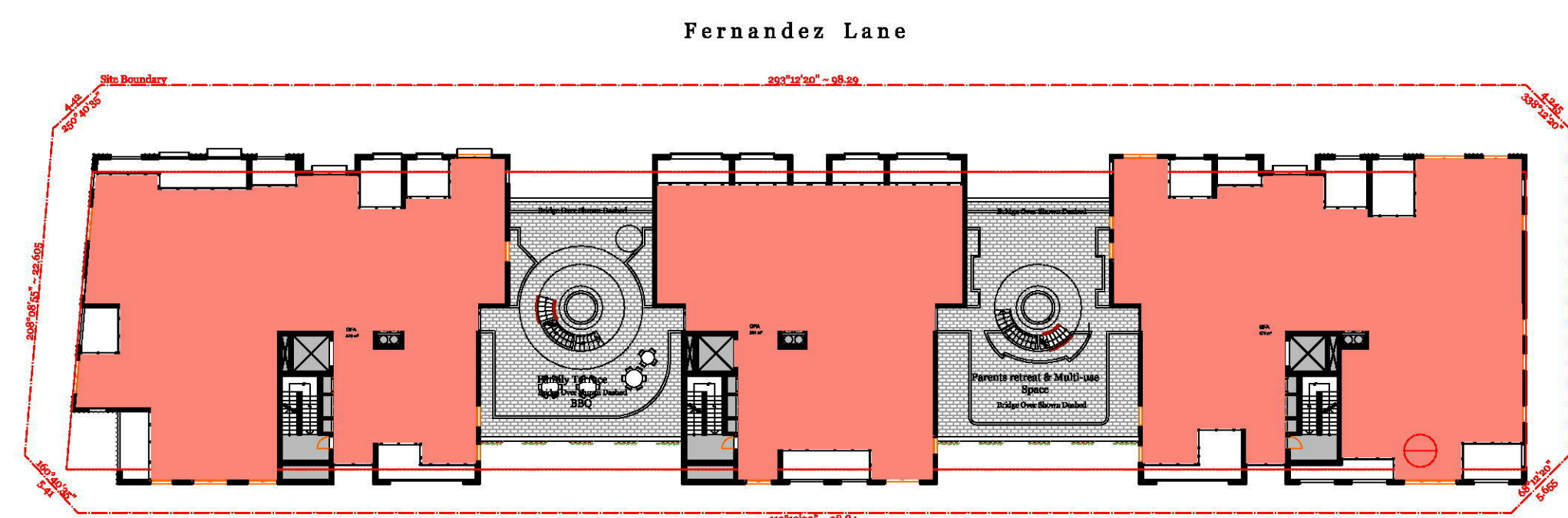
Ground Floor GFA : 1036 sqm

Level one GFA : 1580 sqm



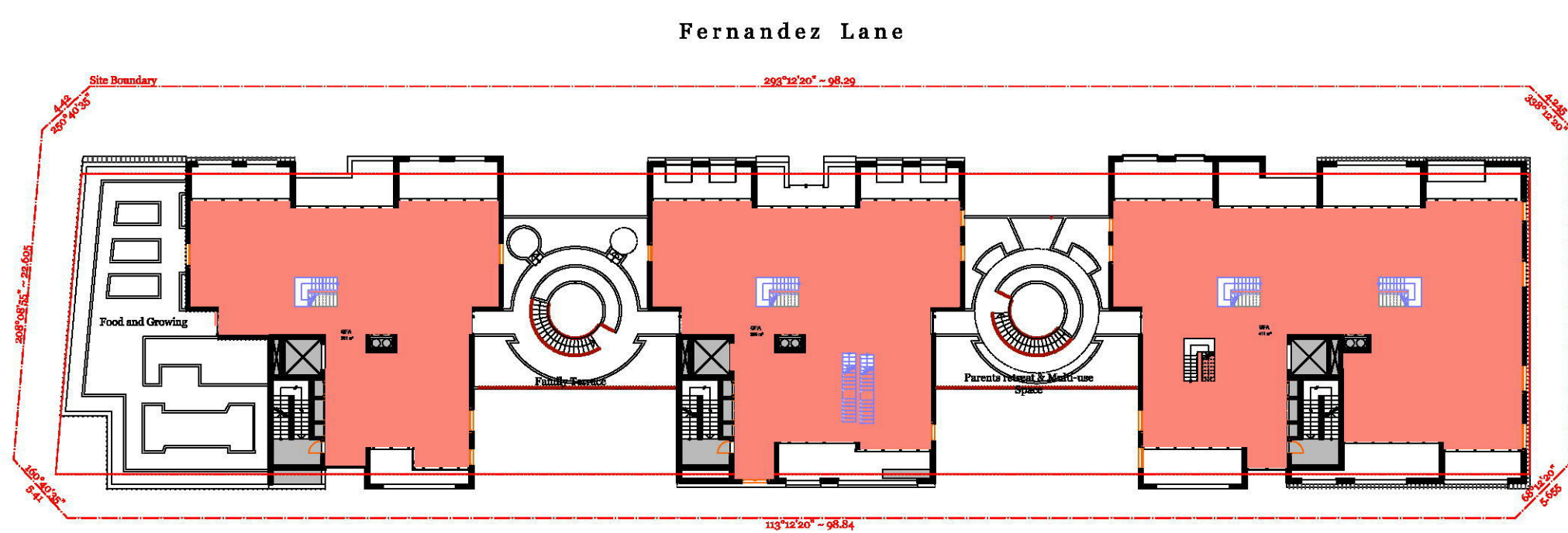
Level 2-6 1:400

Level 2-6 GFA : 1637 sqm



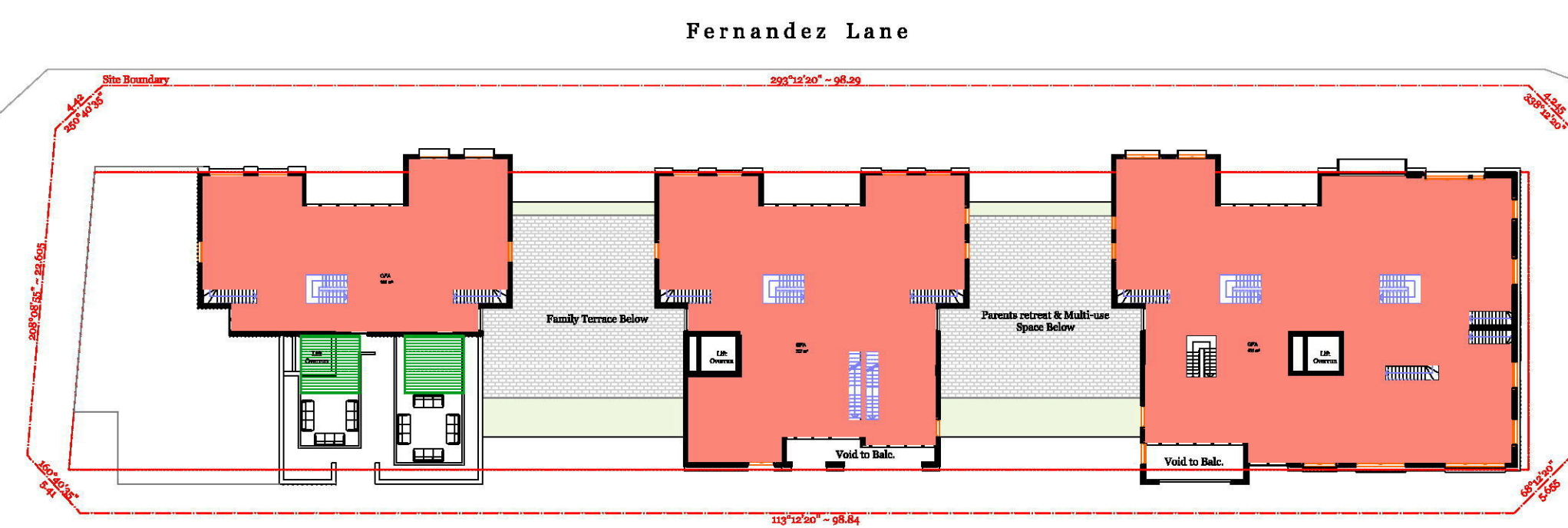
Level 7 1:400

Level 7 GFA : 1271 sqm



Level 8 1:400

Level 8 GFA : 957 sqm



Mezzanine 1:400

Mezz Level GFA : 959 sqm

GFA

Ground Floor GFA :	1021 sqm
Level 1 GFA :	1592 sqm
Level 2-6 GFA :	1649 sqm *5
Level 7 GFA :	1272 sqm
Level 8 GFA :	957 sqm
Mezz level GFA :	963 sqm
Total GFA :	14050 sqm

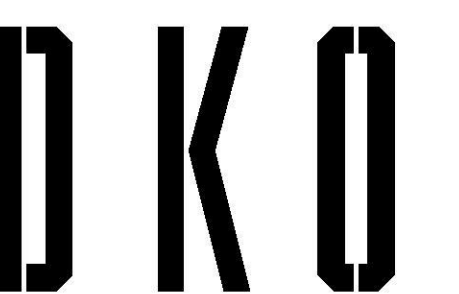
Rev.	Date	By	Ckd	Description
A	06/04/19	MF	SO	Issue for Submission

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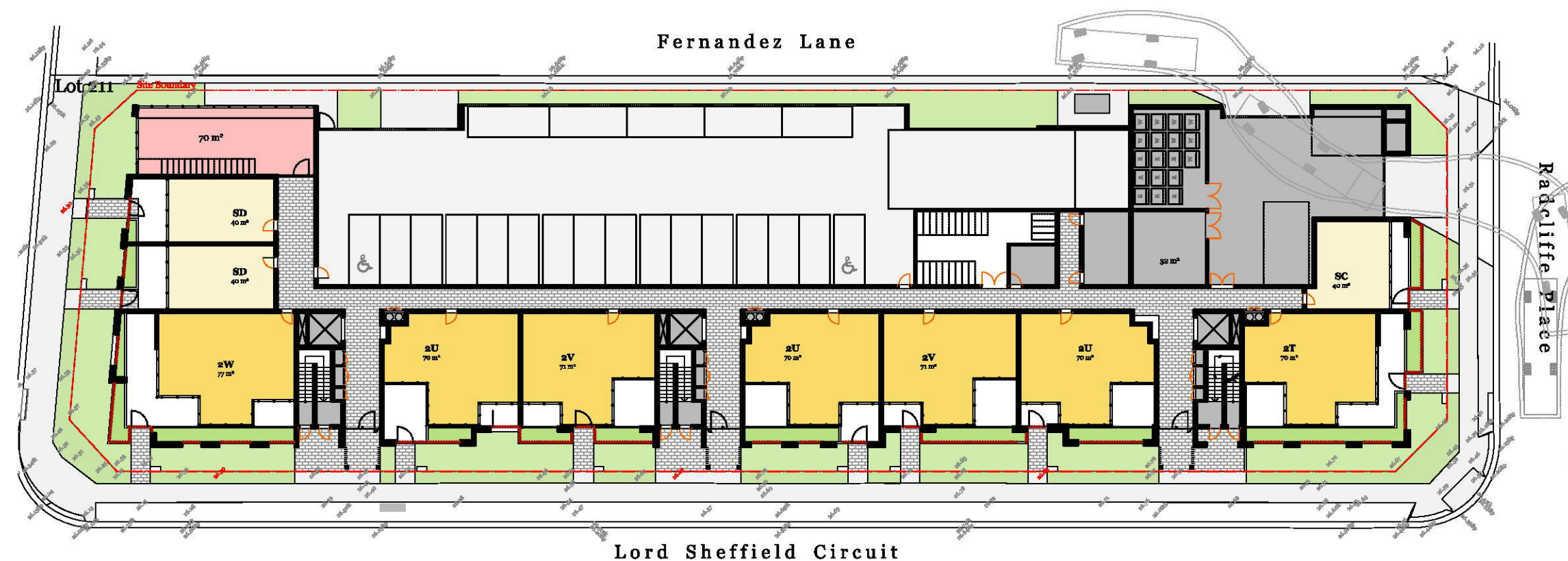
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Project Name Lord Sheffield Circuit Penrith  
 Project Number 12116  
 Project Address Lot 210&211 Lord Sheffield Circuit, Penrith, NSW 2075

Drawn By  
 Checked By  
 Date March 2019  
 Scale 1:400 @ A1

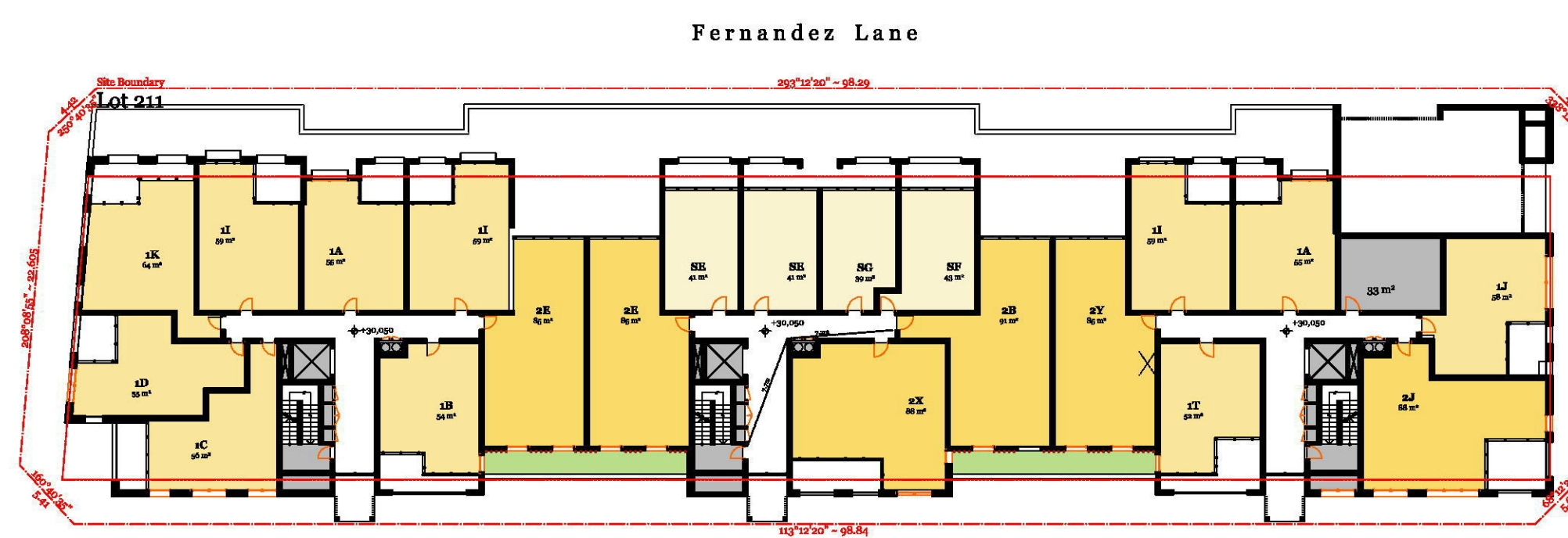
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 Drawing Name Calculations  
 GFA Calculation - Lot 211

Drawing Number **DA602**  
 Revision **A**



Ground Floor

1:400



Level 1

1:400

Rev.	Date	By	Ckd	Description
A	06/04/19	MF	SO	Issue for Submission

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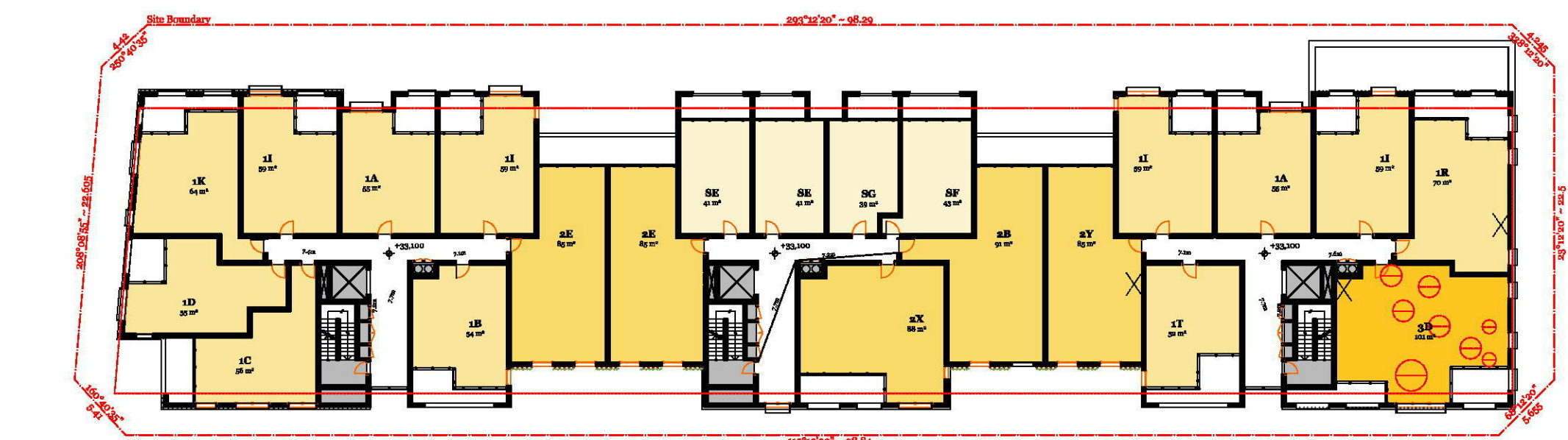
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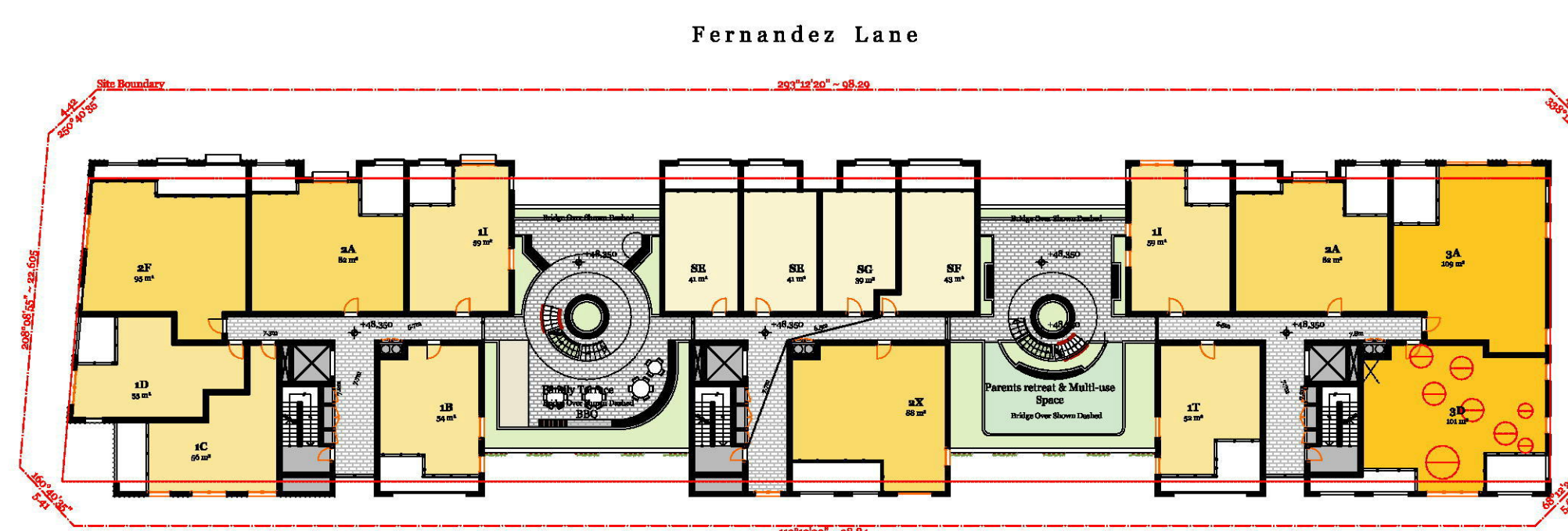
Private Certifier - CBS  
 Steven Saad  
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Hydraulic - Scott Collis  
 Scott Collis  
 scott@scottcollis.com.au



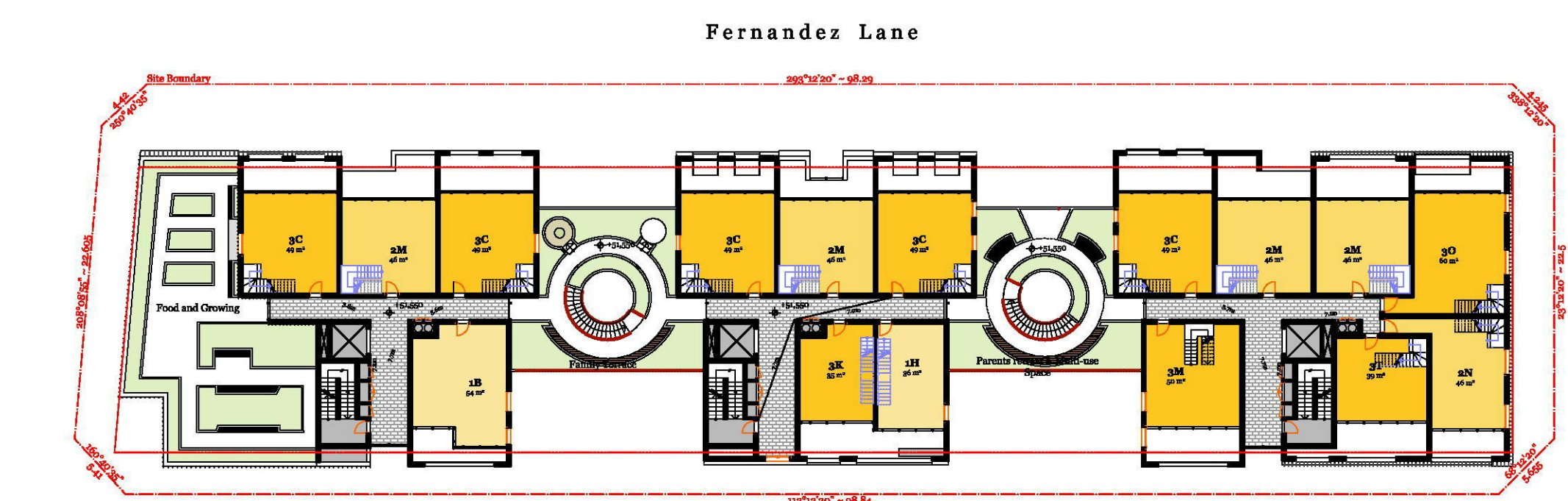
Level 2-6

1:400



Level 7

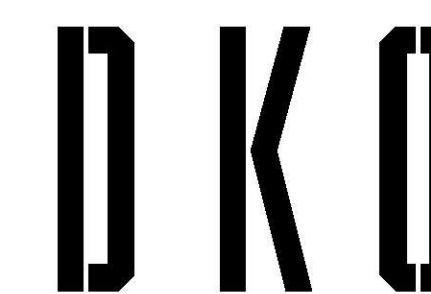
1:400



Level 8

1:400

UNIT MIX	
STUDIO	31/173=18%
1 BEDROOM	79/173=46%
2 BEDROOM	47/173=27%
3 BEDROOM	16/173=9%



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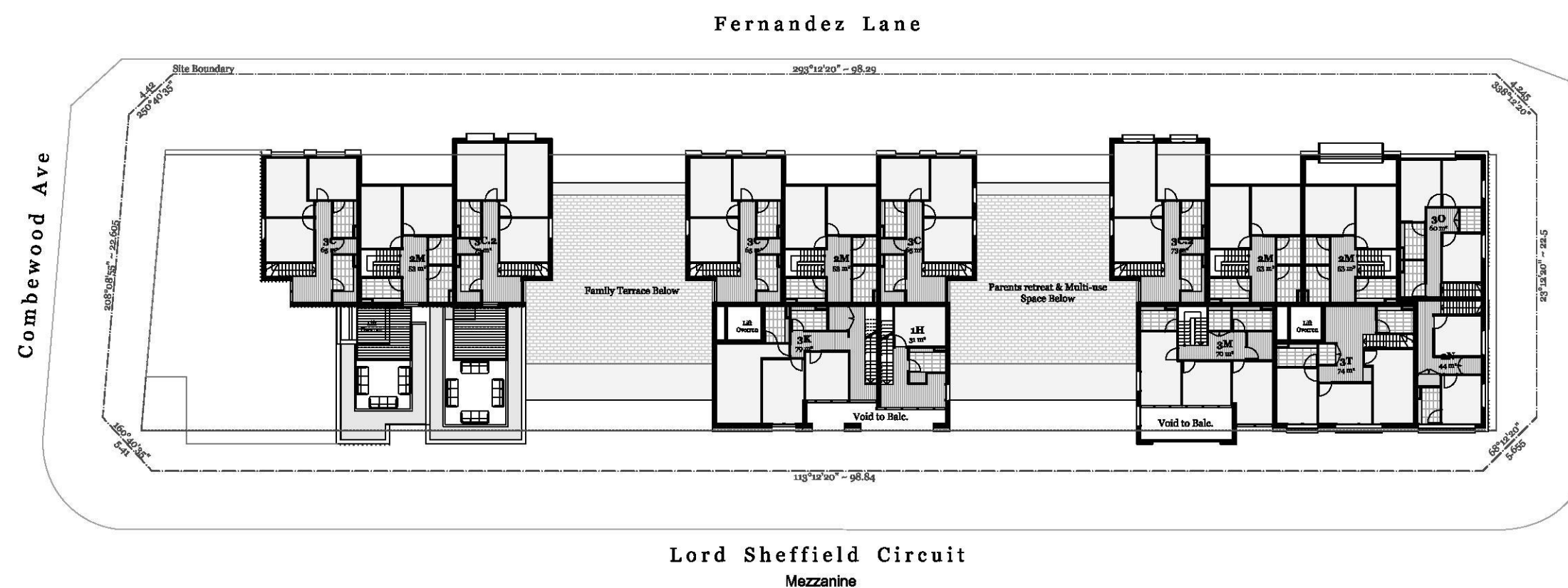
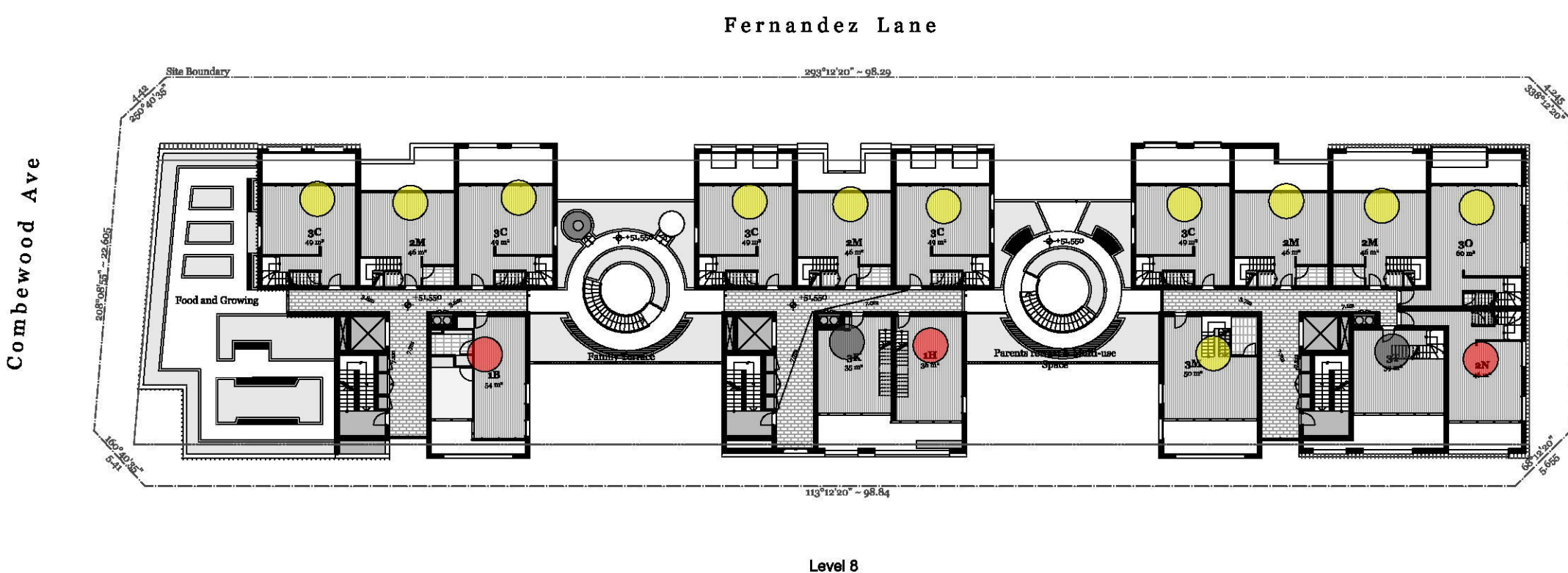
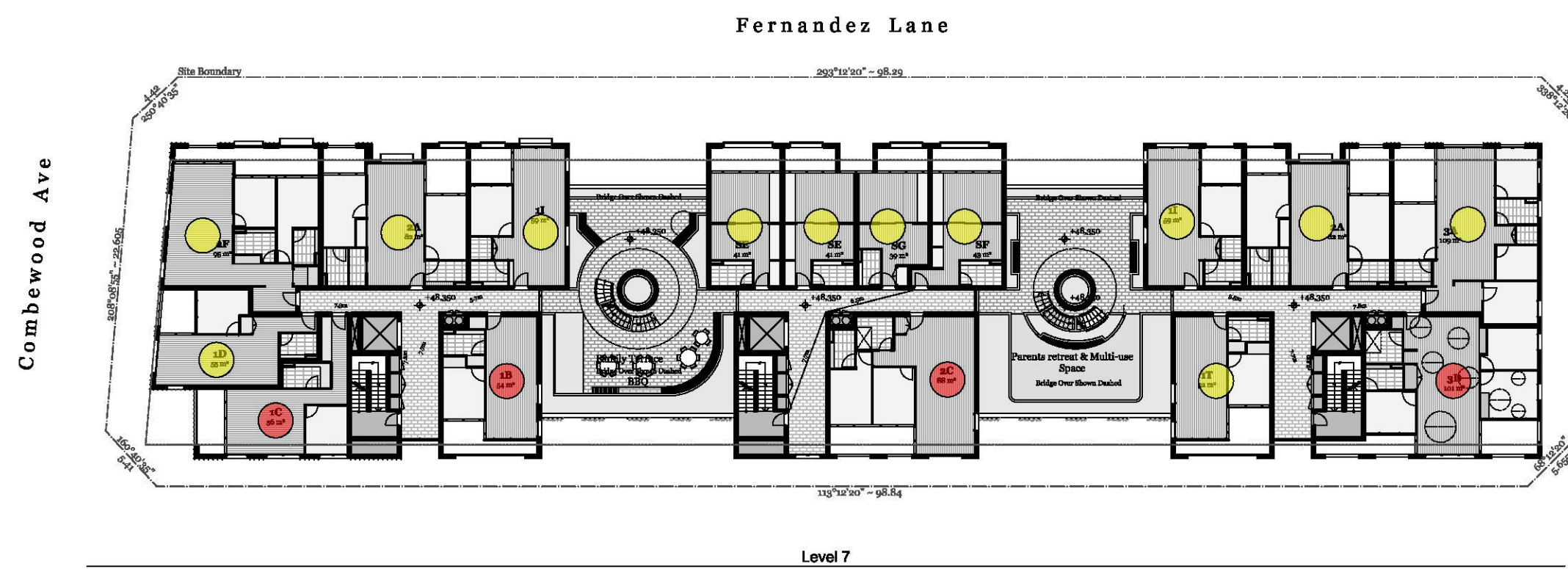
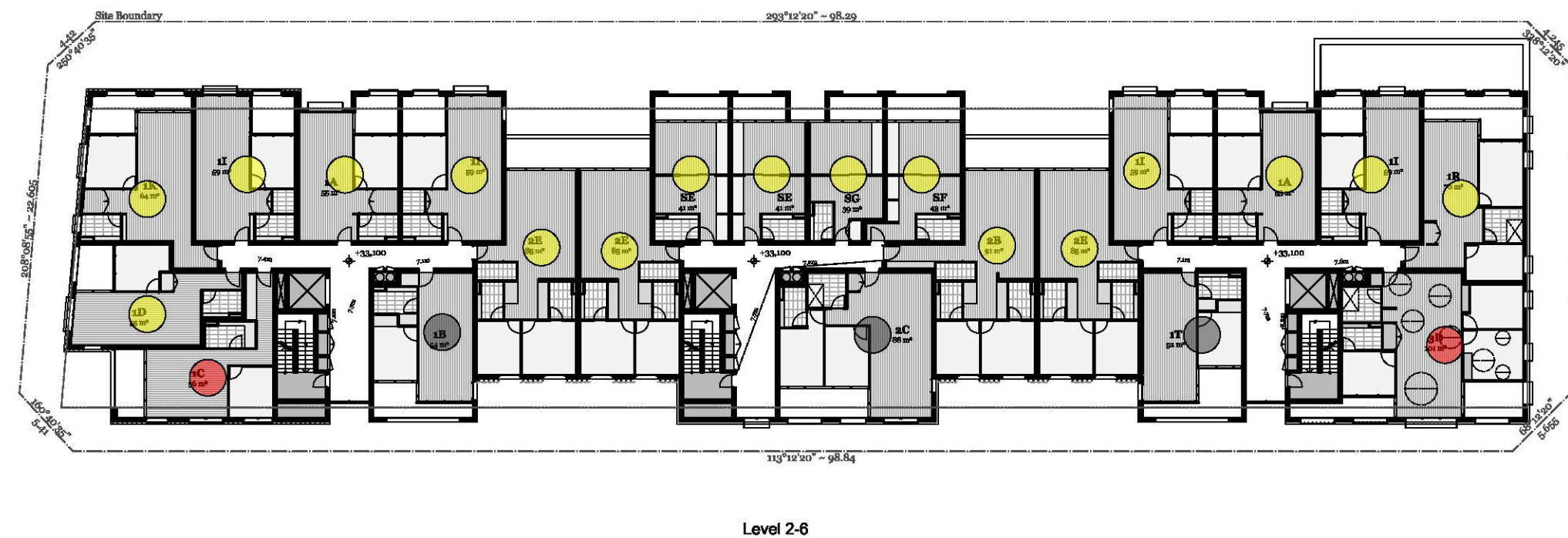
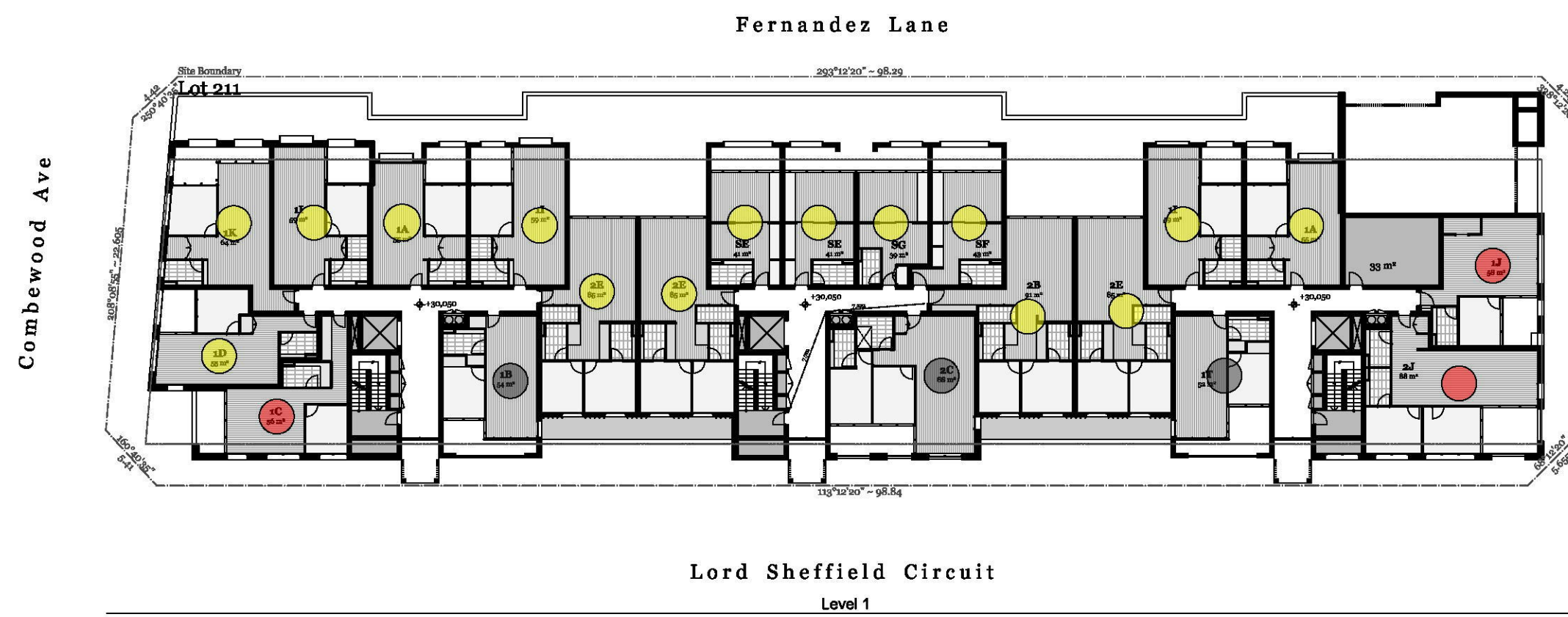
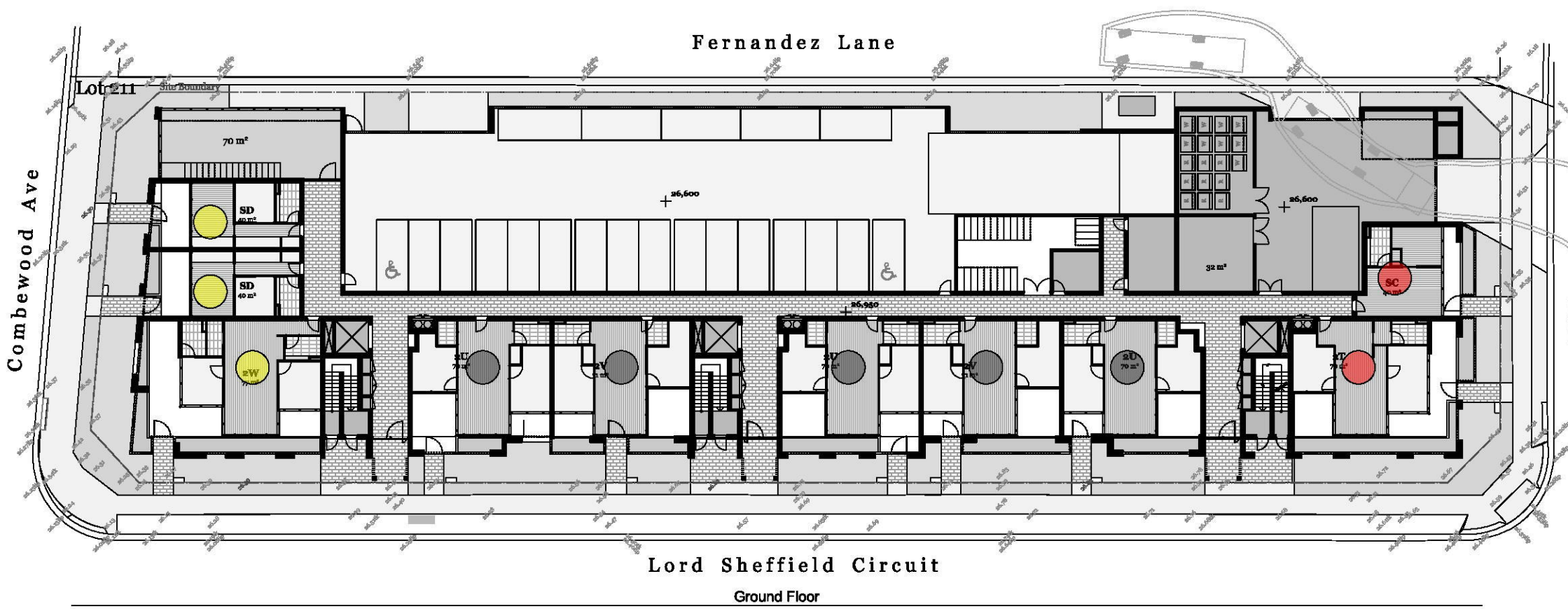
Drawn By  
 Checked By  
 Date  
 Scale

March 2019  
 1:400 @ A1

Drawing Series  
 Drawing Name

Calculations  
 Apartment Mix - Lot 211

Drawing Number **DA603**  
 Revision **A**



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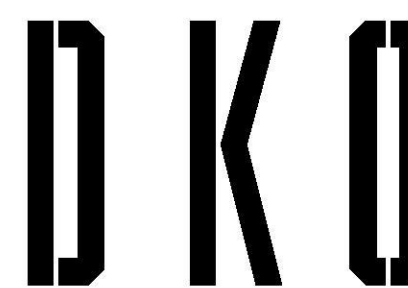
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Project Name: Lord Sheffield Circuit Penrith  
 Project Number: 12116  
 Project Address: Lot 210&211 Lord Sheffield Circuit, Penrith, NSW 2075

Drawn By: [Name]  
 Checked By: [Name]  
 Date: March 2019  
 Scale: 1:400 @ A1

Drawing Series: [Name]  
 Drawing Name: Calculations Solar Compliance - Lot 211

Drawing Number: DA600  
 Revision: A

- 2+ HR SOLAR ACCESS
- <2 HR SOLAR ACCESS
- 0 HR SOLAR ACCESS

SOLAR ACCESS CALCULATION

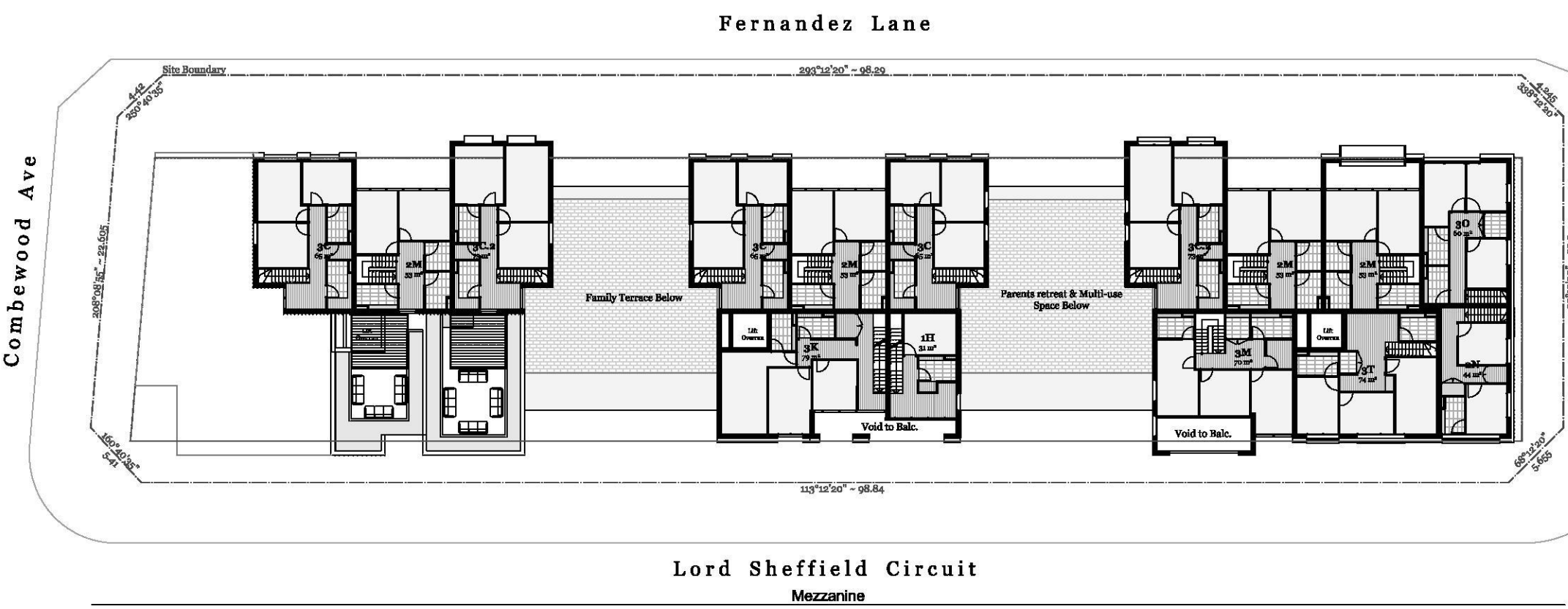
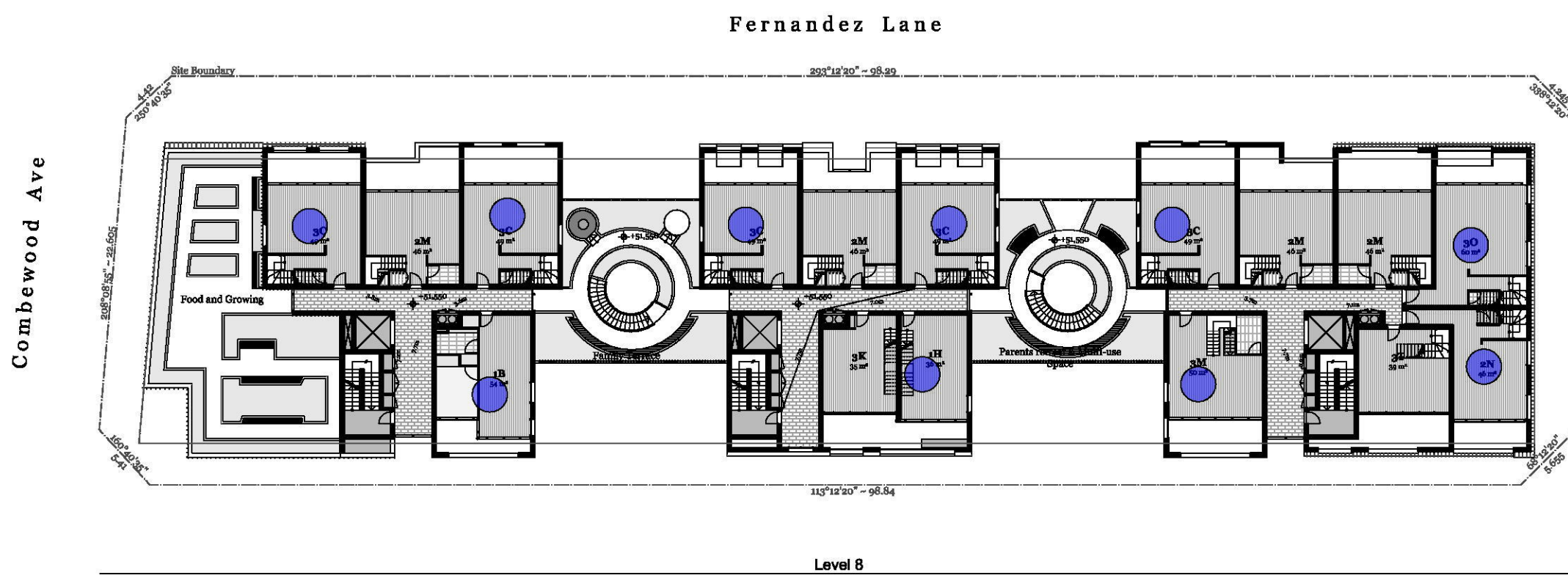
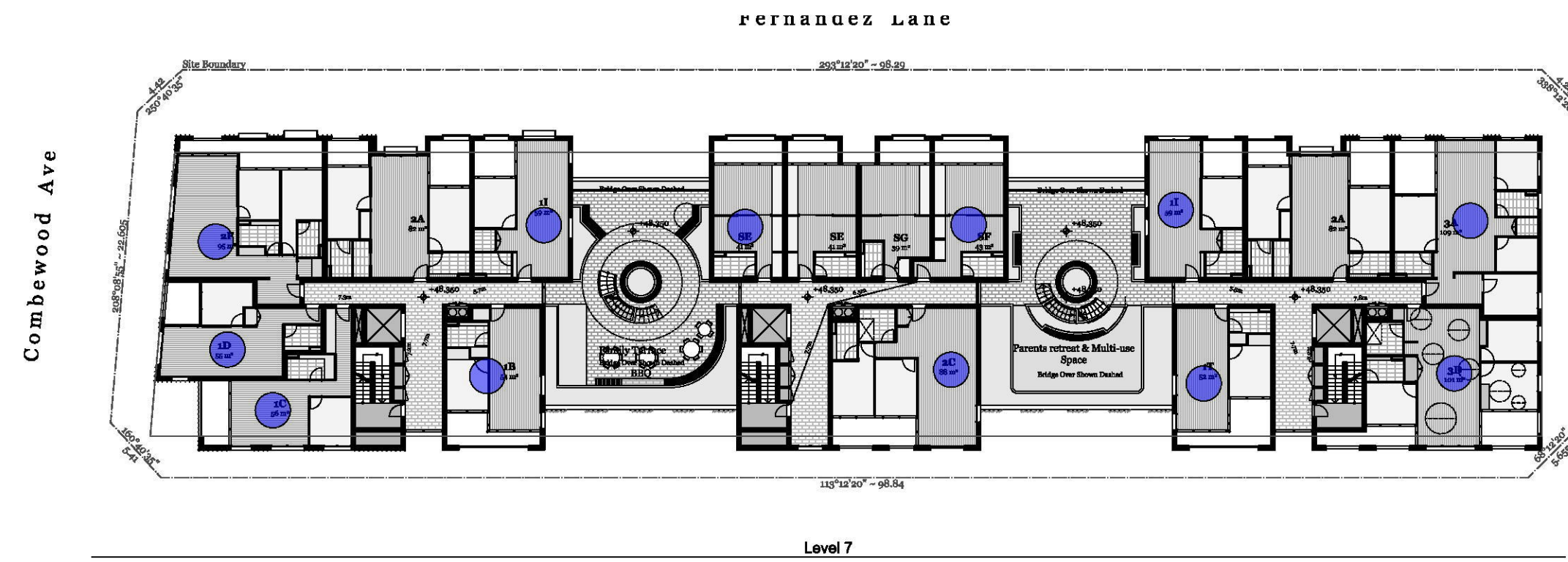
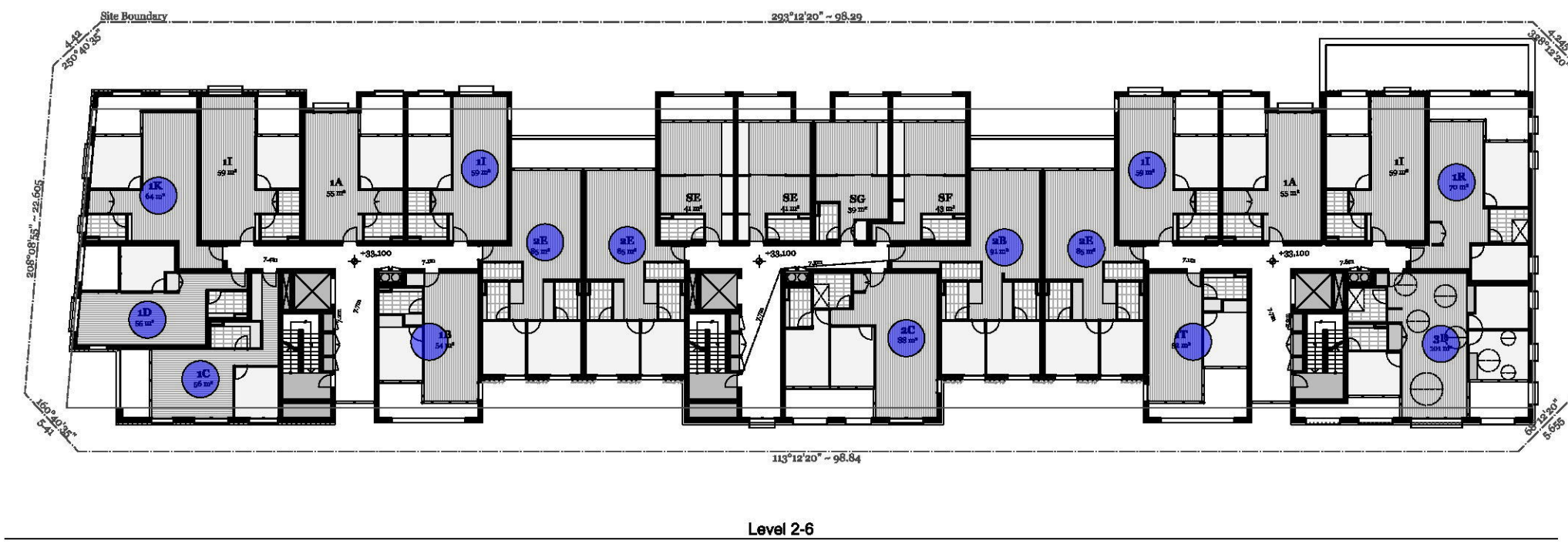
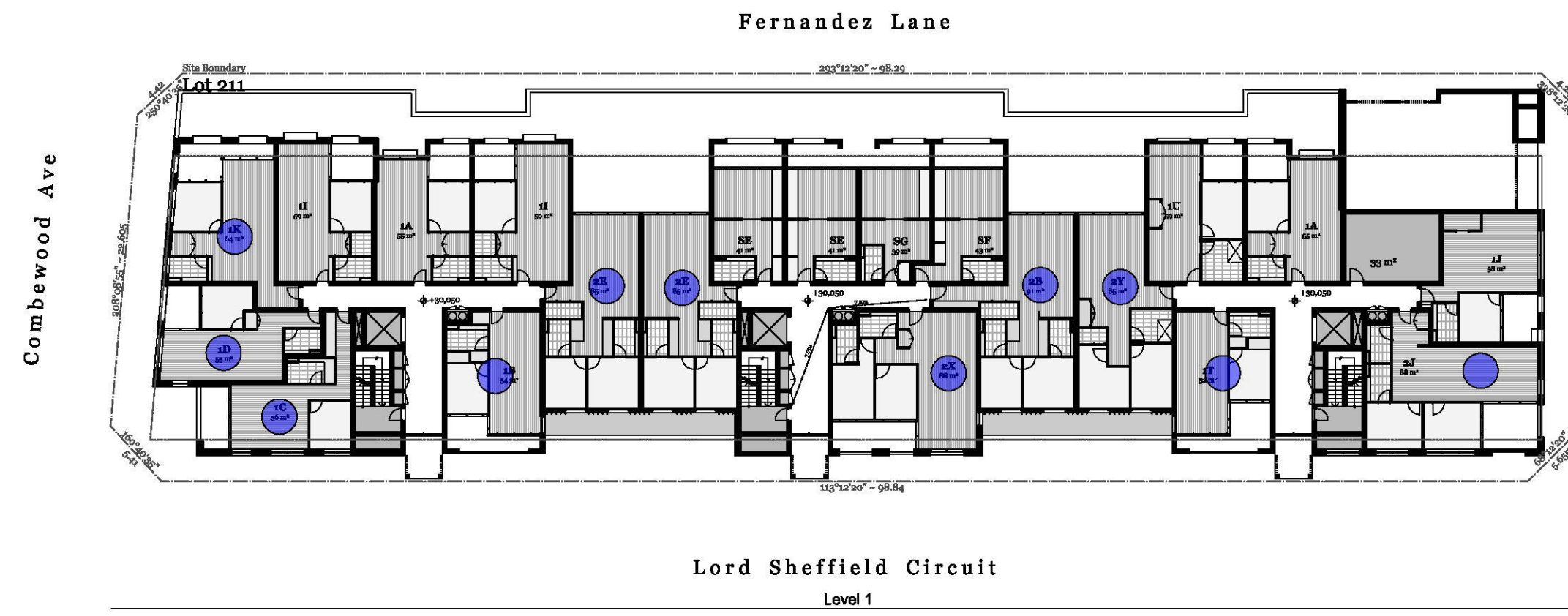
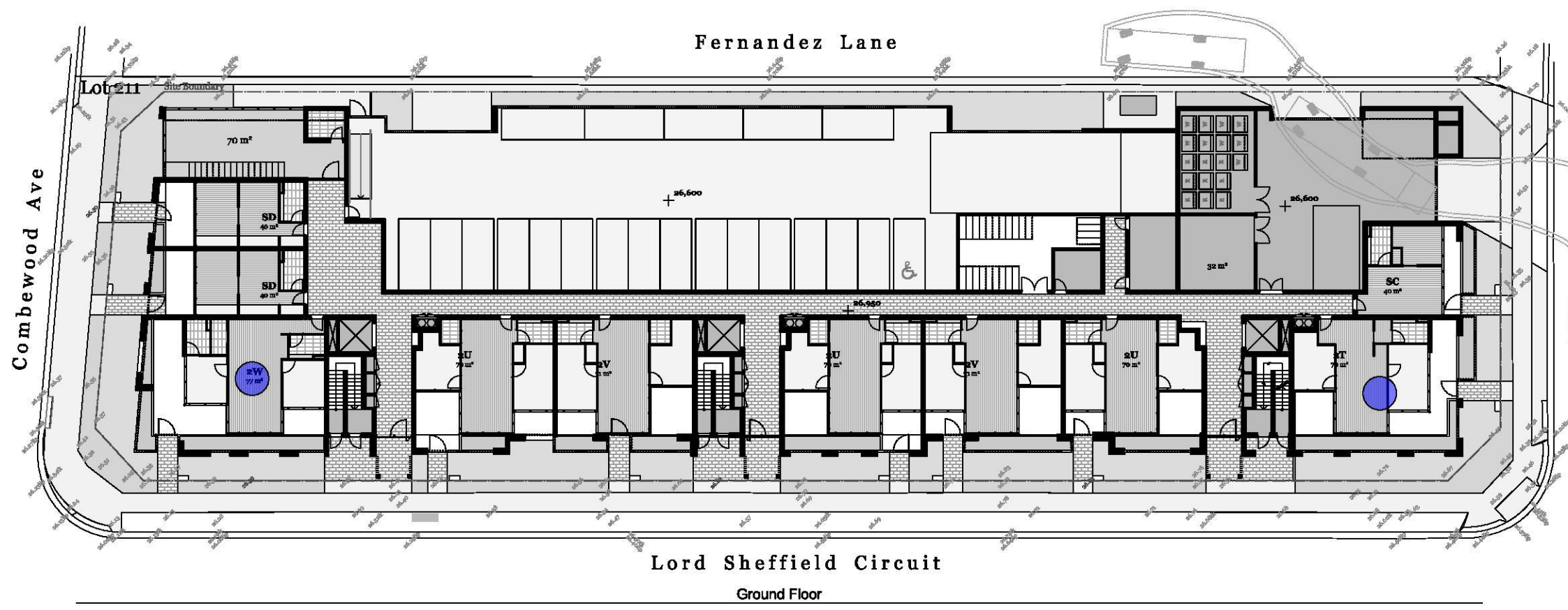
Ground Floor	3/10
Level 01	15/21
Level 02-06	(17/22)x5
Level 07	12/16
Level 08	11/16

**Total 126/173 (73%)**

NO SOLAR ACCESS CALCULATION

Ground Floor	5/11
Level 01	3/21
Level 02-06	(3/22)x5
Level 07	0/16
Level 08	2/16

**Total 25/173 (14%)**



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Rev.	Date	By	Ckd	Description
A	06/04/19	MF	SO	Issue for Submission

Client Details  
 Urban Property Group  
 Patrick Elias



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● NATURALLY CROSS-VENTILATED UNITS

CROSS VENTILATION CALCULATION

Ground Floor	2/10
Level 01	11/21
Level 02-06	(14/22)x5
Level 07	12/16
Level 08	10/16
<b>Total</b>	<b>105/173 (61%)</b>

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Project Name  
 Project Number  
 Project Address

Drawn By  
 Checked By  
 Date  
 Scale

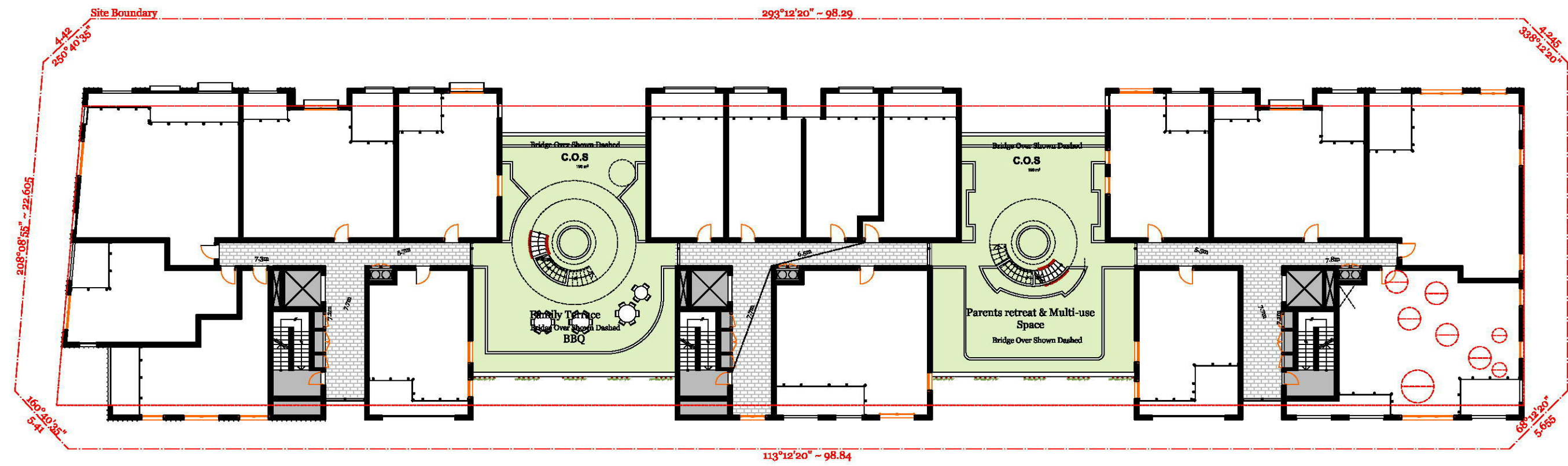
Lord Sheffield Circuit Penrith  
 12116  
 Lot 210&211 Lord Sheffield  
 Circuit,  
 Penrith, NSW 2075

March 2019  
 1:400 @ A1

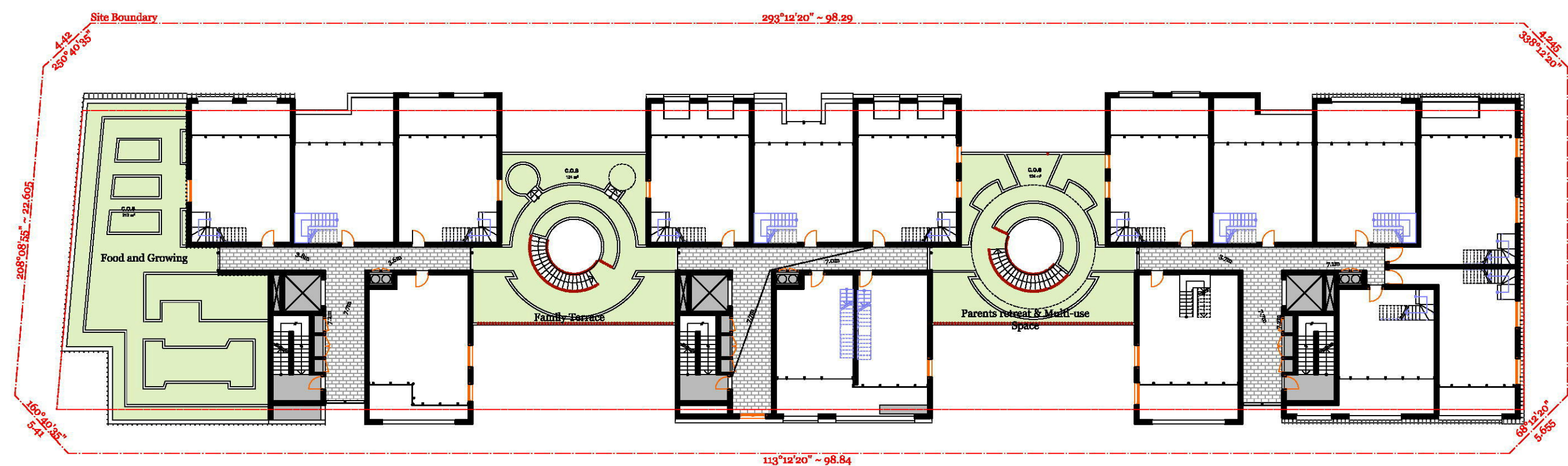
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Calculations  
 Cross ventilation - Lot 211

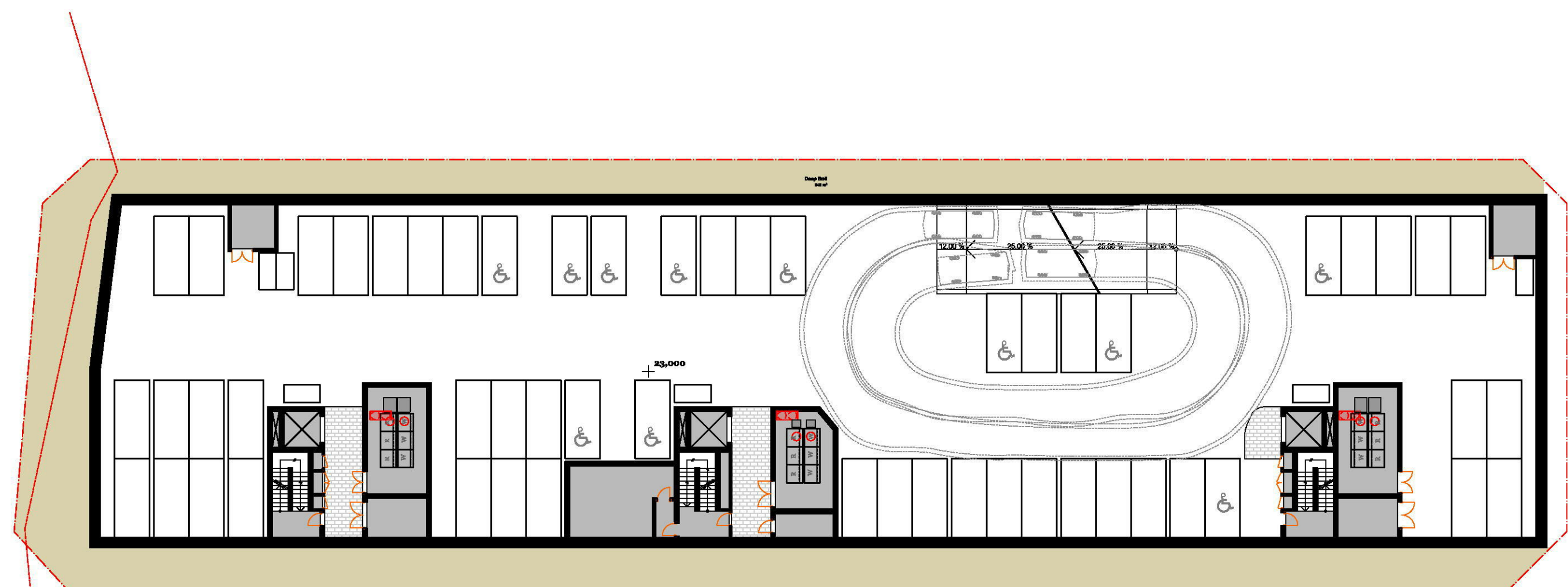
Drawing Number **DA601**  
 Revision **A**



Level 7 Communal Open Space: 392 sqm



Level 8 Communal Open Space: 460 sqm



Basement 01 Floor Deep Soil

Radcliffe Place

**COMMUNAL OPEN SPACE - LOT 211**

Level 7: 392 sqm  
 Level 8: 460 sqm  
**TOTAL: 852**  
 27.6% of the Site Area

Calculated on Lot 211 Site Area of 3,084m<sup>2</sup>

**DEEP SOIL - LOT 211**

Basement Level: 646sqm  
**TOTAL:**  
 20.9% of the Site Area

Calculated on Lot 211 Site Area of 3,084m<sup>2</sup>

Rev.	Date	By	Ckd	Description
A	06/04/19	MF	SO	Issue for Submission

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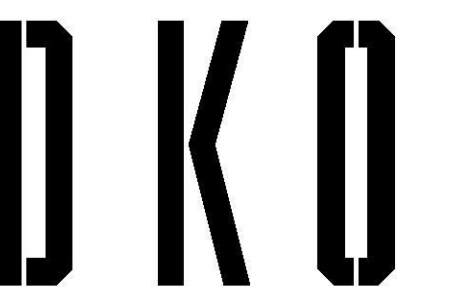
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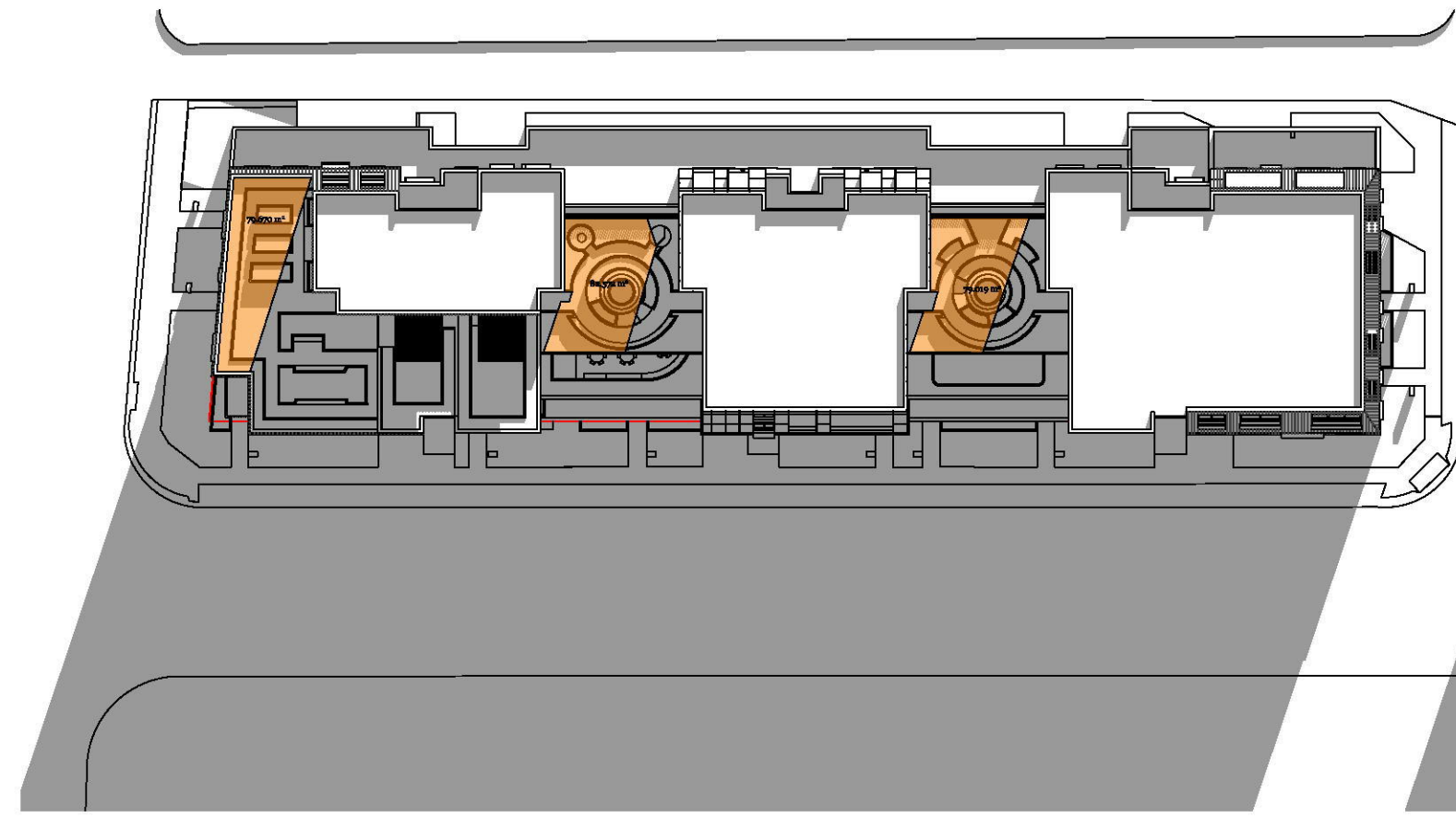
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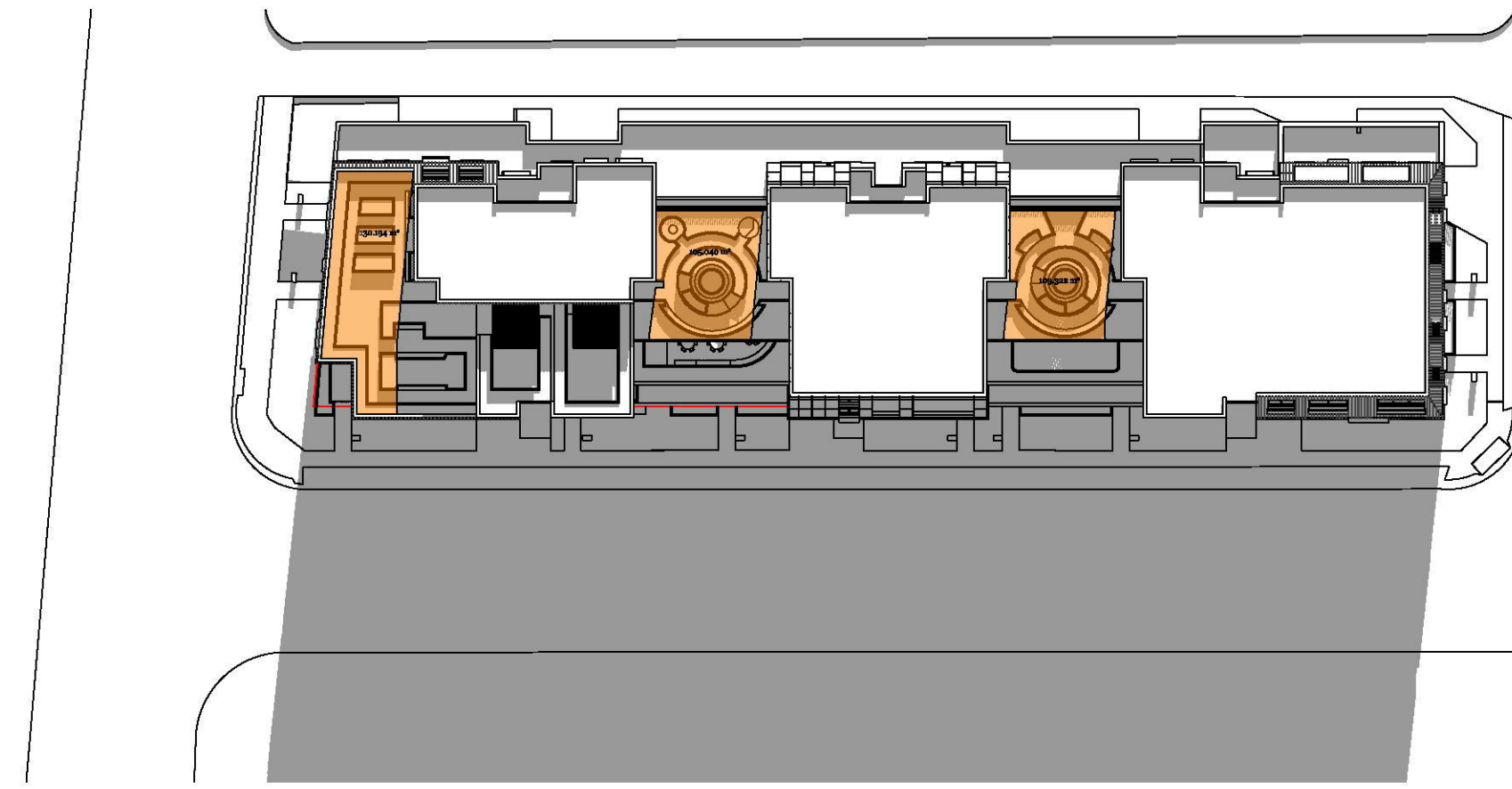
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 Revision **A**

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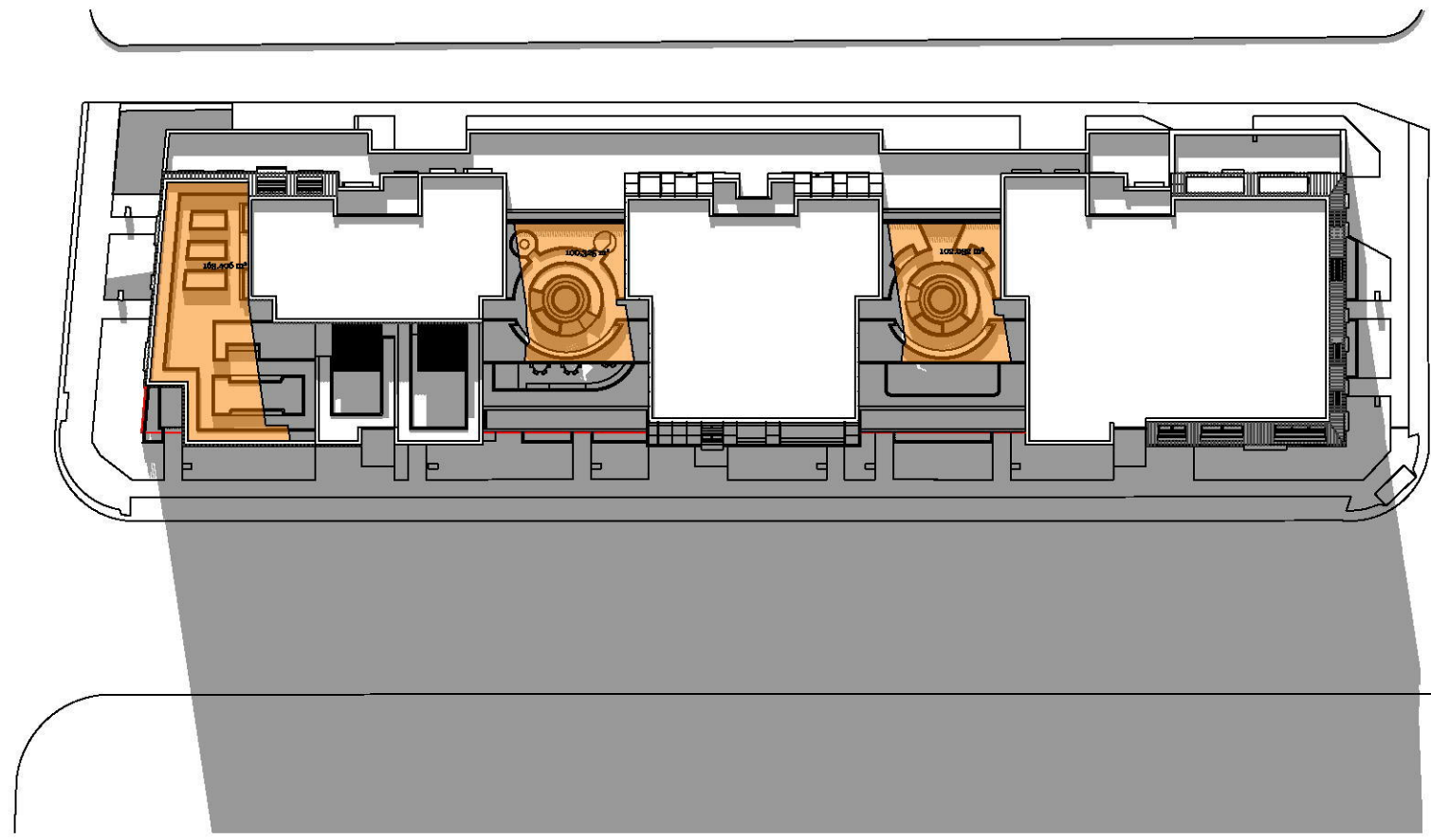
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COS 9am\_Lot 211 1:600



COS 10am\_Lot 211 1:600



COS 11am\_Lot 211 1:600

Rev.	Date	By	Ckd	Description
A	06/04/19	MF	SO	Issue for Submission

Client Details  
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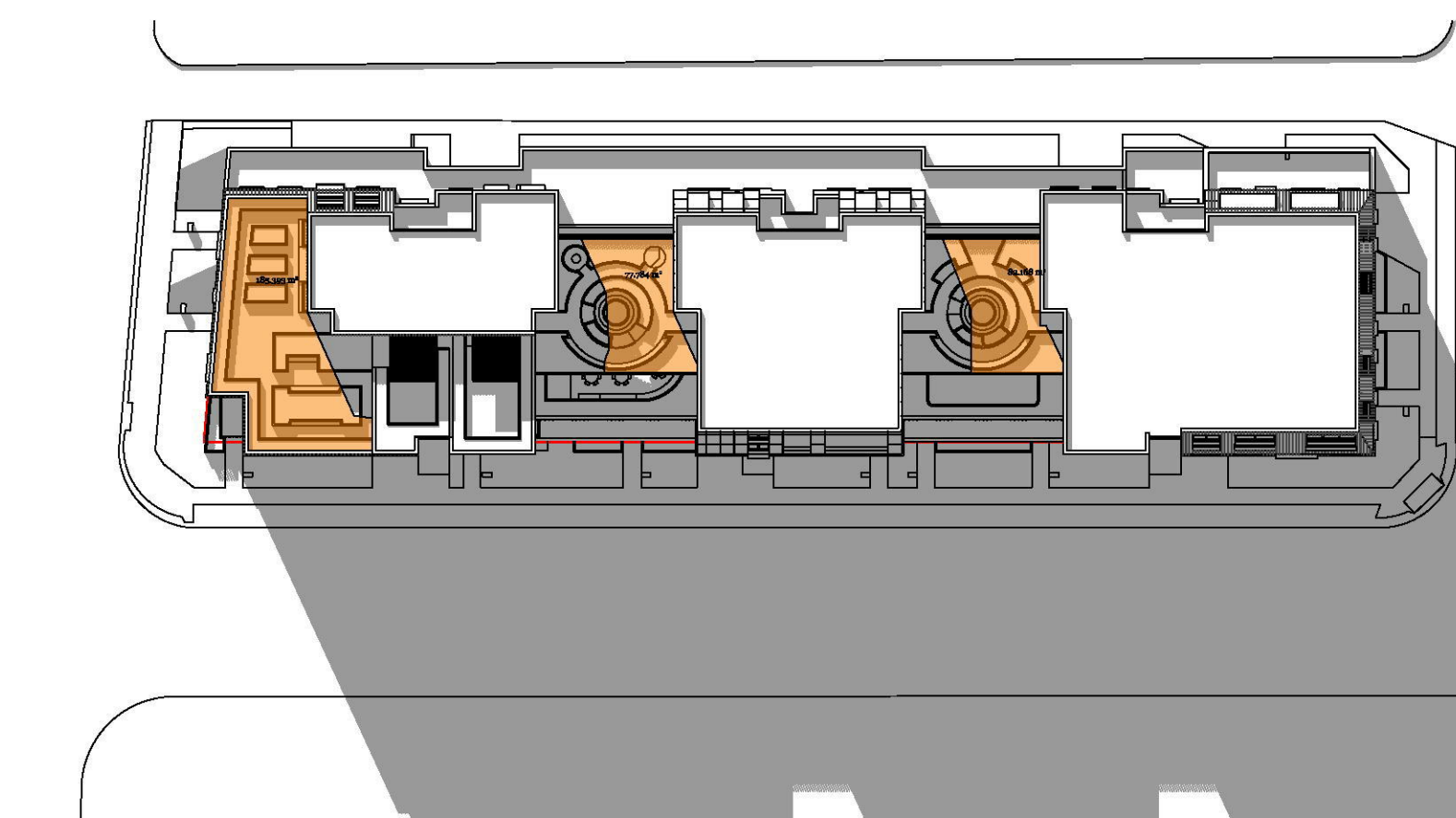
Electrical - Tricom  
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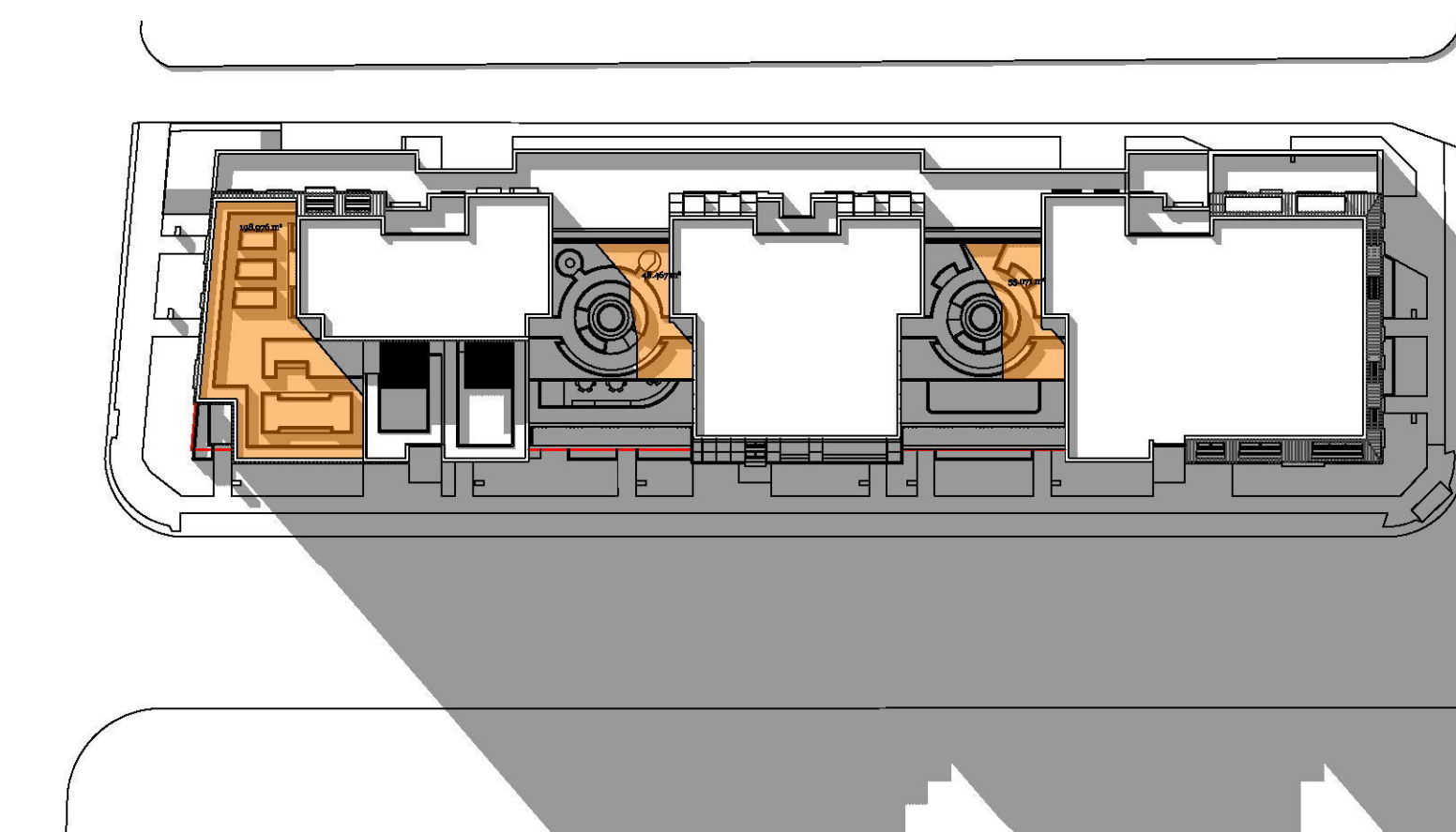
Structure - Ace  
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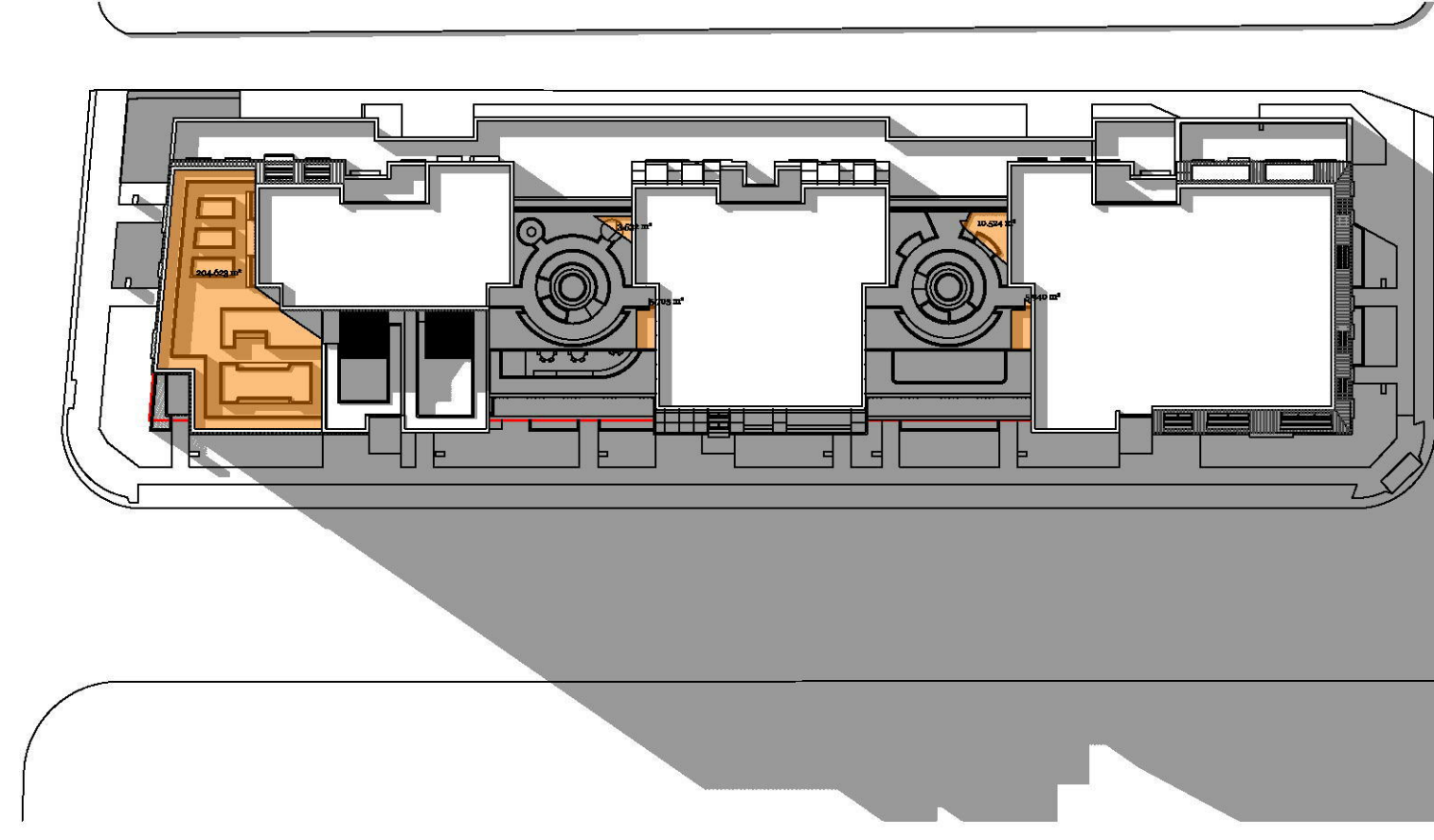
Hydraulic - Scott Collis  
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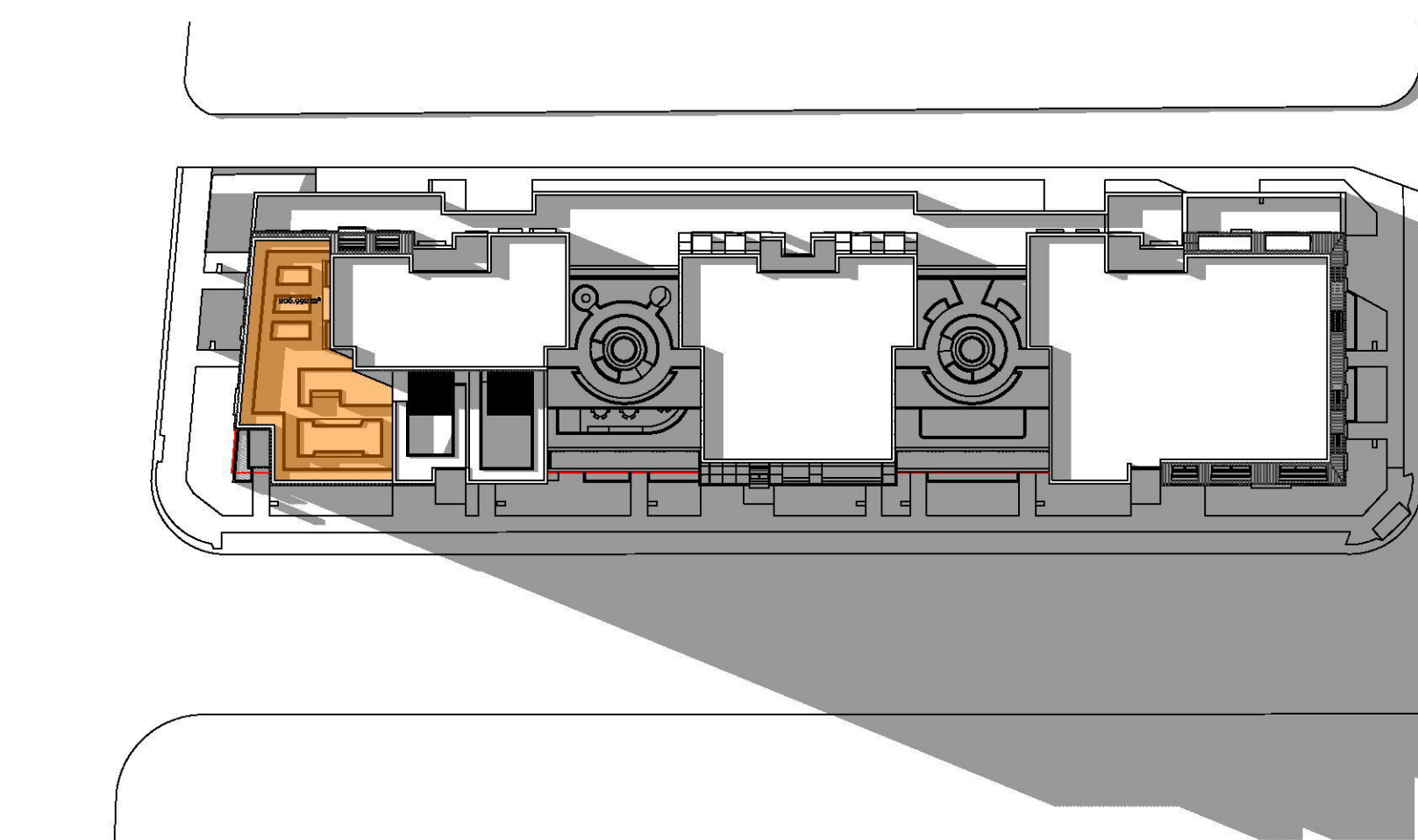
COS 12pm\_Lot 211 1:600



COS 13pm\_Lot 211 1:600



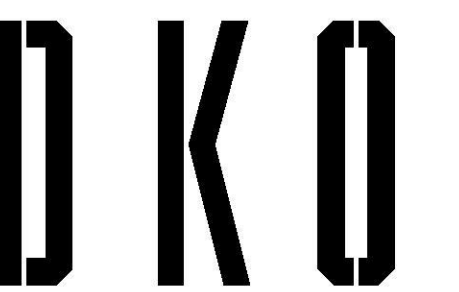
COS 14pm\_Lot 211 1:600



COS 15pm\_Lot 211 1:600

 Communal Open Space that receives sunlight on 21 June

- Principal Communal Open Space Area that receives sublight at 9am on 21 June: 241/460 sqm=52.3%
- Principal Communal Open Space Area that receives sublight at 10am on 21 June: 338/460 sqm=73.4%
- Principal Communal Open Space Area that receives sublight at 11am on 21 June: 366/470 sqm=77.8%
- Principal Communal Open Space Area that receives sublight at 12pm on 21 June: 345/460sqm=75%
- Principal Communal Open Space Area that receives sublight at 13pm on 21 June: 303/460sqm=65.8%
- Principal Communal Open Space Area that receives sublight at 14pm on 21 June: 232/460 sqm=50.4%
- Principal Communal Open Space Area that receives sublight at 15pm on 21 June: 207/488 sqm=42.4%



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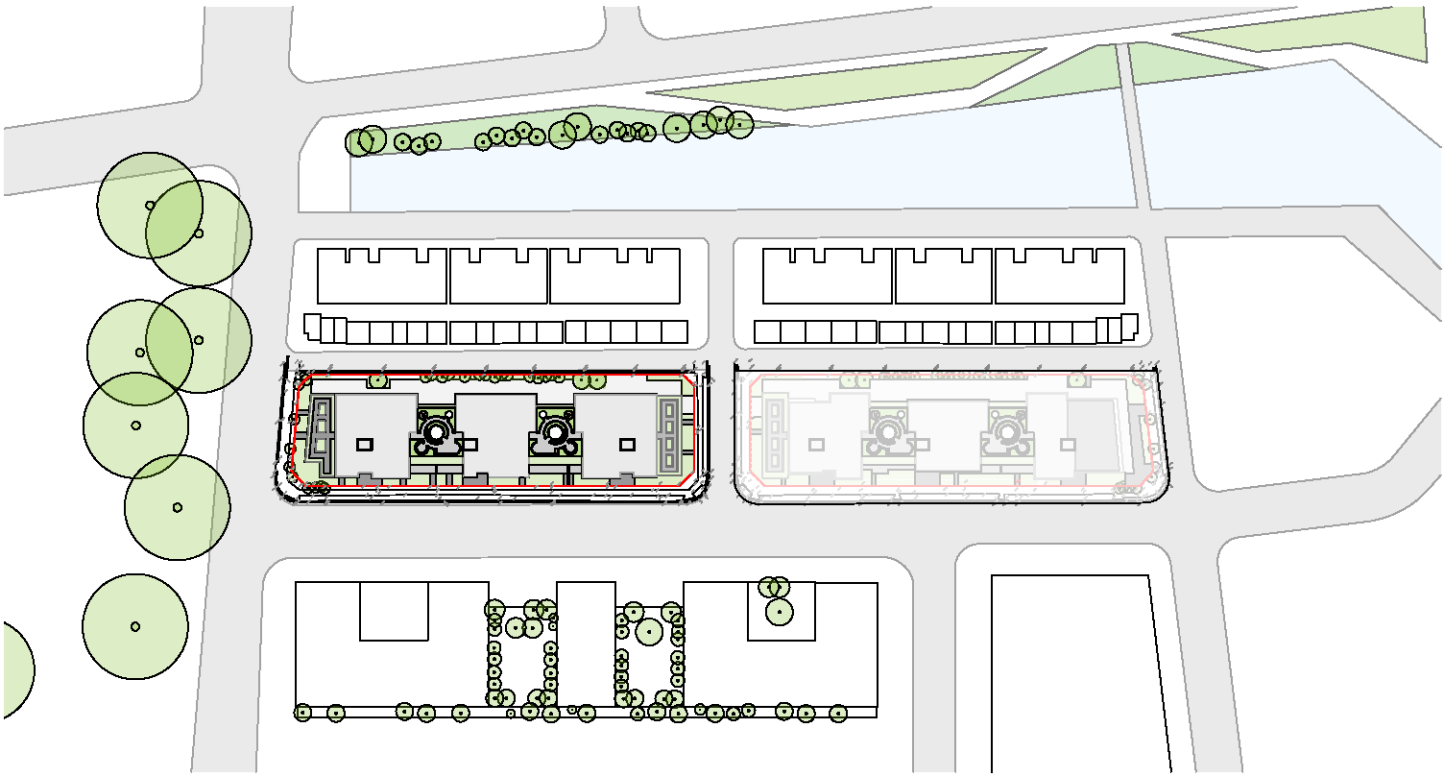
Project Name Lord Sheffield Circuit Penrith  
 Project Number 12116  
 Project Address Lot 210&211 Lord Sheffield Circuit, Penrith, NSW 2075

Drawn By  
 Checked By  
 Date March 2019  
 Scale 1:600 @ A1

Drawing Series Calculations  
 Drawing Name C.O.S Solar Access\_Lot 211

Drawing Number DA607  
 Revision A

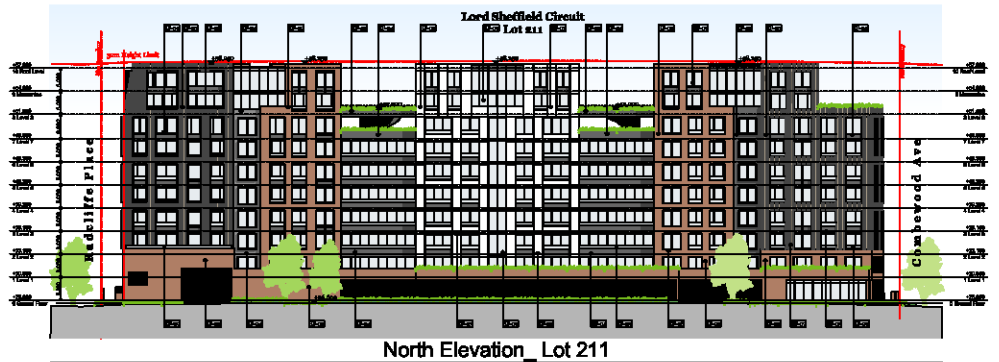




Site Plan



East Elevation Lot 211



North Elevation Lot 211



West Elevation Lot 211



South Elevation Lot 211



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Date

Project Number 12116  
Drawing Name Notification Plan  
Scale  
Drawing No. DA700  
Revision