

Adaptable Unit Specifications

All Doors in residential common use areas and commercial use areas:

- All single hinged doors and in case of multiple leaf doorways, at least 1 operable leaf is required to provide a clear opening of 850mm with the door circulation spaces as per AS1428.1-2009.
- When using sliding doors, flush transition is required to provide fully recessed floor tracks. Also all sliding doors to have 510mm minimum available to latch side of the sliding door to enable access to door handle.
- All fully glazed areas to have glazing strips. The marking should be for the full width with a solid and non-transparent 75mm wide, contrasting line located 900-1000mm above FFL and provide a minimum luminance contrast of 30% when viewed against the floor surface within 2M of the glazing on the opposite end. Graphical representation or cut-outs are not permitted.
- All doorways to have a minimum luminance contrast of 30% provided between, Door leaf and door jamb or Door leaf and adjacent wall or Architrave and wall or Door leaf and architrave or Door jamb and adjacent wall. The minimum width of the luminance contrast to be 50mm.
- All external doorways to have a max drop of 35mm at threshold when used in combination with a doorway threshold ramp of 1:8 grade within 20mm of the door leaf.

Door hardware requirements in residential common use areas and commercial use areas:

- D shaped door handles to be used, located at 900-1100mm above FFL
- Clearance between the handle and the back plate or the door face at the centre grip section of the handle to be between 35-45mm with a minimum of 20mm turn at the end of the handle

All stairways require the following:

- All stairways to be compliant with: AS1428.1-2009, including but not limited to opaque risers, with 1M clear space (handrail to handrail /wall)
- Each tread to have a nosing strip between 50mm-75mm for the full width of the stair, which can be setback for a maximum of 15mm from the front of the nosing. This strip is to have a minimum luminance contrast of 30% to the background and to comply with any change in level requirements if attached on the treads.
- Handrails to be located between 865mm-1000mm above FFL, with no vertical sections. Diameter of handrails to be between 30mm-50mm and located not less than 50mm from adjacent walls with no obstructions to top 270° arc.
- Slip resistance to also comply with BCA Table D2.1.4 when tested in accordance with AS4586. For treads and landings, slip resistance of R11 / P4 and for nosing strips slip resistance of P4 should be provided (requirement under D2.13 and D2.14) when tested as per AS4586.

In addition to the above all non-fire-isolated stairways (on the ground floor level and basement level) require the following:

- Handrails to be provided to both sides and to extend a minimum of 300mm horizontally past the nosing on the top riser. At the bottom of the stairs the handrail is to extend at least one tread depth parallel to the line of the nosing, plus a minimum of 300mm horizontally from the last riser.

All 1:14 ramps require the following:

- All ramps to be compliant with: AS1428.1-2009, handrails on both sides with 1M clearance between handrails.
- Handrail to extend a minimum of 300mm horizontally past the transition point at the top and bottom of the ramp except where the inner handrail is continuous at an intermediate landing.
- Handrails to be provided on both sides with 1M clearance between them and located between 865mm-1000mm above FFL (finished floor level) with no vertical sections.
- Diameter of handrails to be between 30mm-50mm (30mm preferred) and located not less than 50mm from adjacent walls with no obstructions to top 270° arc.
- At 90 / 180 degrees bend the midlandings are requirement to be minimum of 1540mm when measured in between handrails

Braille / Tactile Signage as per BCA requirements to be provided to:

- All doors nominated as Exit doors require signage
- All Non-accessible entry points.
- Accessible Sanitary Facilities.

TGSIs are required in the following locations (only to non-fire-isolated stairways and ramps):

- At top and bottom landings of stairways / ramps, 600-800mm depth or min 12 discrete cones are required at 300+/-10mm from edge of hazard (unless the landings are less than 3M, in which case, provide 300mm depth)
- At mid landings of stairway / ramps, 300-400mm depth or min 6 discrete cones are required only where handrails are not continuous or landing or if landing is less than 3M.

Compliance is required with AS1428.4.1. Luminance contrast requirements of TGSIs are to be as listed below:

- Integrated TGSIs require min of 30% Discrete TGSIs require min of 45%
- Discrete & 2 colours require the raised surface to have a min of 60%

Floor or ground surfaces

- The texture of the surface is to be traversable by people who use a wheelchair and those with an ambulant or sensory disability. Abutment of surfaces is to have a smooth transition. Construction tolerances to be +/- 3mm vertical or +/- 5mm (provided the edges have a bevelled or rounded edge). Grates (if used in the accessible path of travel) are required to comply with AS1428.1.

Accessible Car parking

- Dedicated space 2.4Mx5.4M, Shared space 2.4Mx5.4M to be at the same level
- Slip resistant flooring surface with maximum fall 1:30 in any direction or maximum 1:33 if bituminous and outdoors
- Central Bollard in shared space at 800+/-50mm from entry point
- Pavement marking in dedicated space by means of access symbol between 800mm-1000mm high placed on a blue rectangle of maximum 1200mm and between 500mm-600mm from its entry point (marking not required where allocated to an Adaptable unit)
- Minimum headroom of 2.2M at entrances and 2.5M is required over shared zones as well as dedicated spaces
- Non-trafficked area of the shared space to have marking strips at 45°, 150-200mm wide at 200mm-300mm spaces (not required where driveways are used as shared spaces)
- The pavement marking shall have the appropriate slip resistance for the location.

Lifts

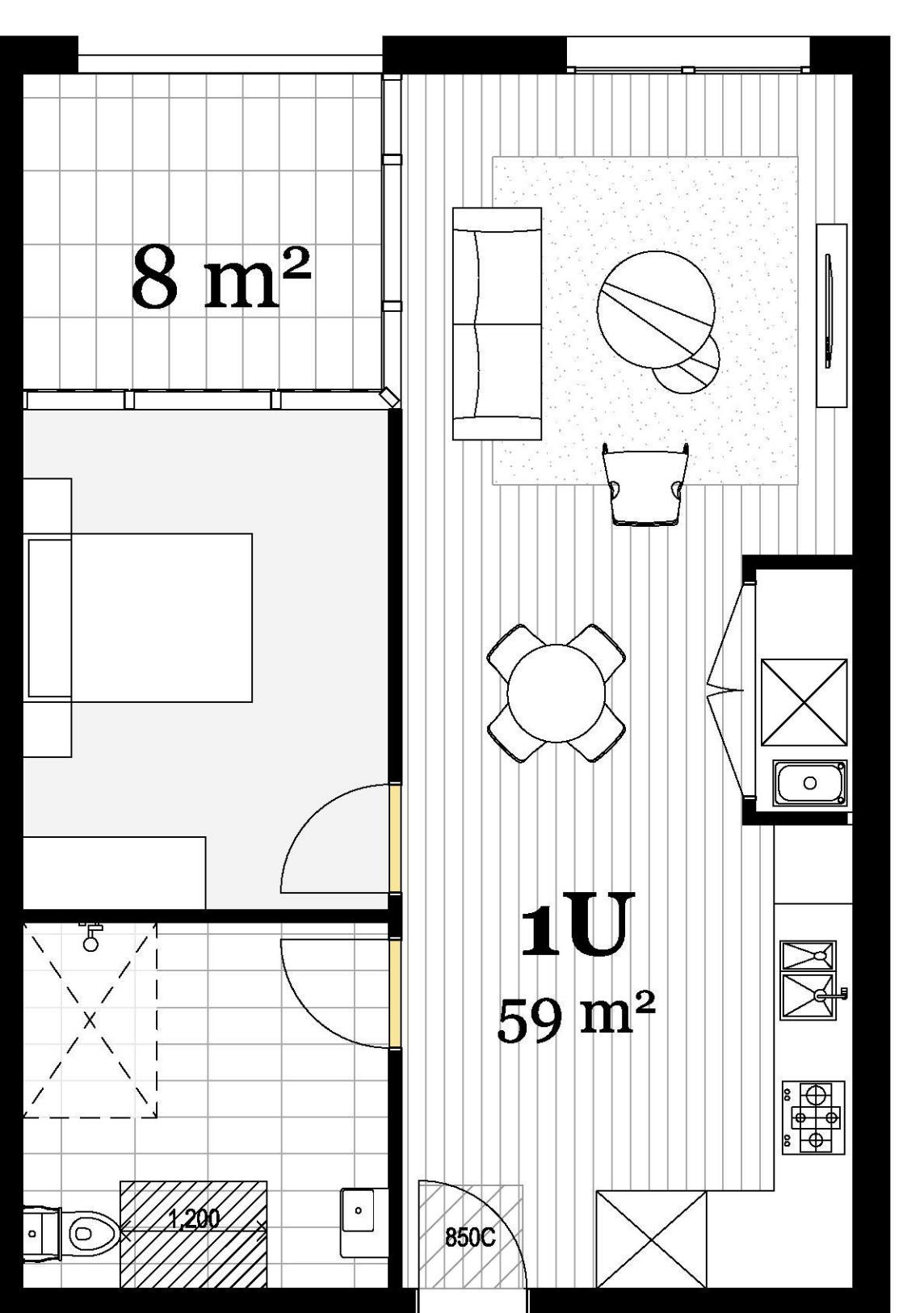
- Lift to comply with the requirements of BCA Part E3- Lift installations.
- All external lift control buttons to be located between 900-1100mm above FFL and not less than 500mm from internal corners

Slip resistance

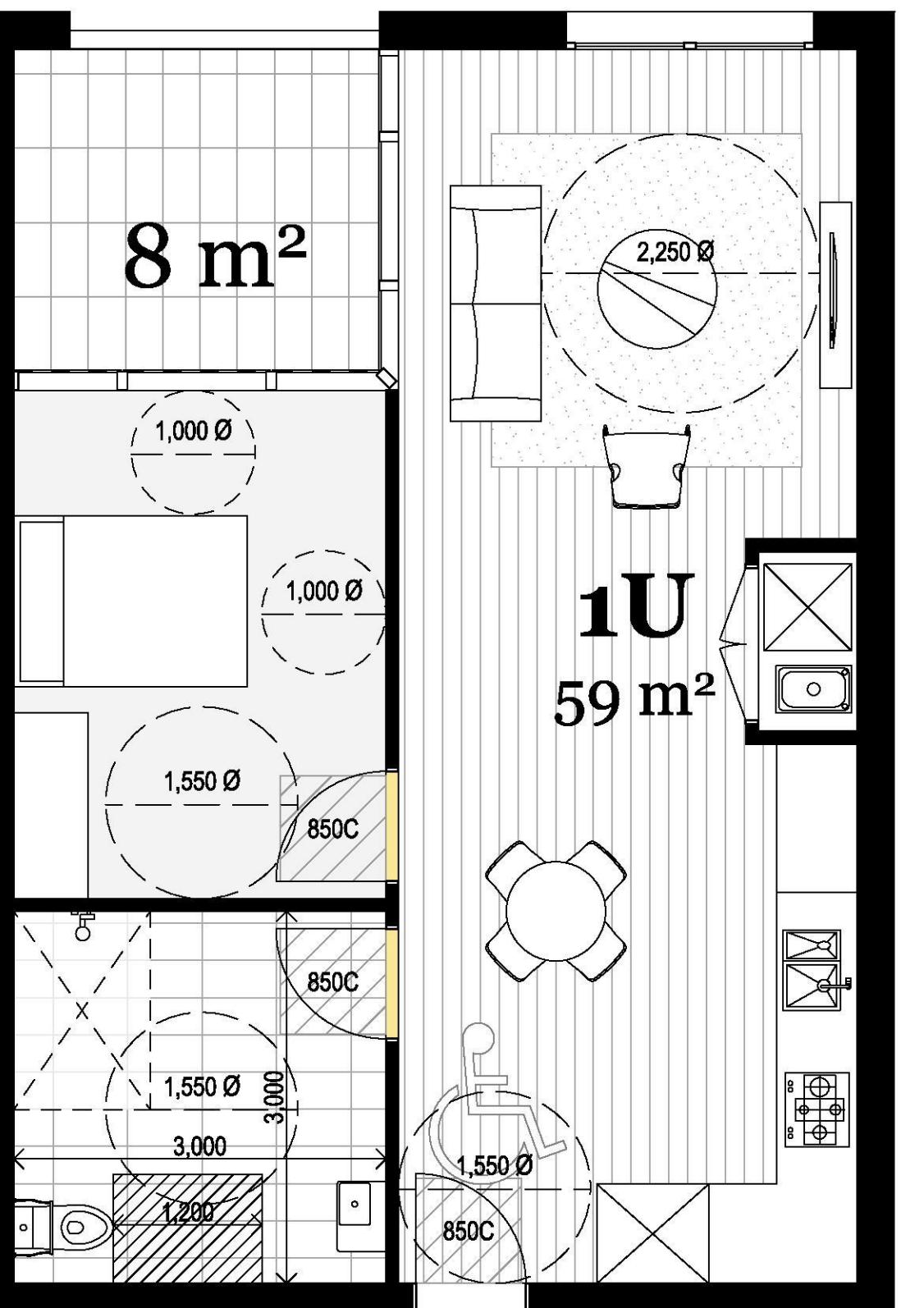
- Slip resistance to be as per BCA Table D2.14 when tested in accordance with AS4586.
- All wet areas / outdoor areas associated with Adaptable units to be slip resistant as per AS3661/ AS4586.
- Refer to guide HB 197 for details in regards to compliance requirements.

Adaptable and Livable units

- All adaptable units to be constructed as per requirements of AS4299 as listed in the Access report by Accesslink to Class C level.
- Note that flush transition is required to all flooring in the unit, which means that recessed floor slabs will be required to wet areas.
- All passageways in these units are required to provide 1M clear passageways when measured from skirting to skirting.
- All doorways to provide for 820mm clear opening space as a minimum. The main entry doorway doorway to main adaptable bathroom and main adaptable bedroom to provide for 850mm clear opening space.
- At least 1 hobless shower to be provided. At least 1 toilet to have WC in the corner with a clear space of 900x1200 in front of the pan and a side wall reinforced.



Pre-adaptable Unit_1U



Post-adaptable Unit_1U

Unit No.: 1.18; 2.18; 3.18; 4.18; 5.18; 6.18

Total Units: 6

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Patrick Elias

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Project Number
Project Address
Drawn By
Checked By
Date
Scale

Lord Sheffield Circuit Penrith
12116
Lot 210 & 211 Lord Sheffield
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Penrith, NSW 2075

March 2019
1:50 @ A1

Drawing Series
Drawing Name
GA Plans_Lot 211
Adaptable Units

Drawing Number DA205
Revision A

Adaptable Unit Specifications

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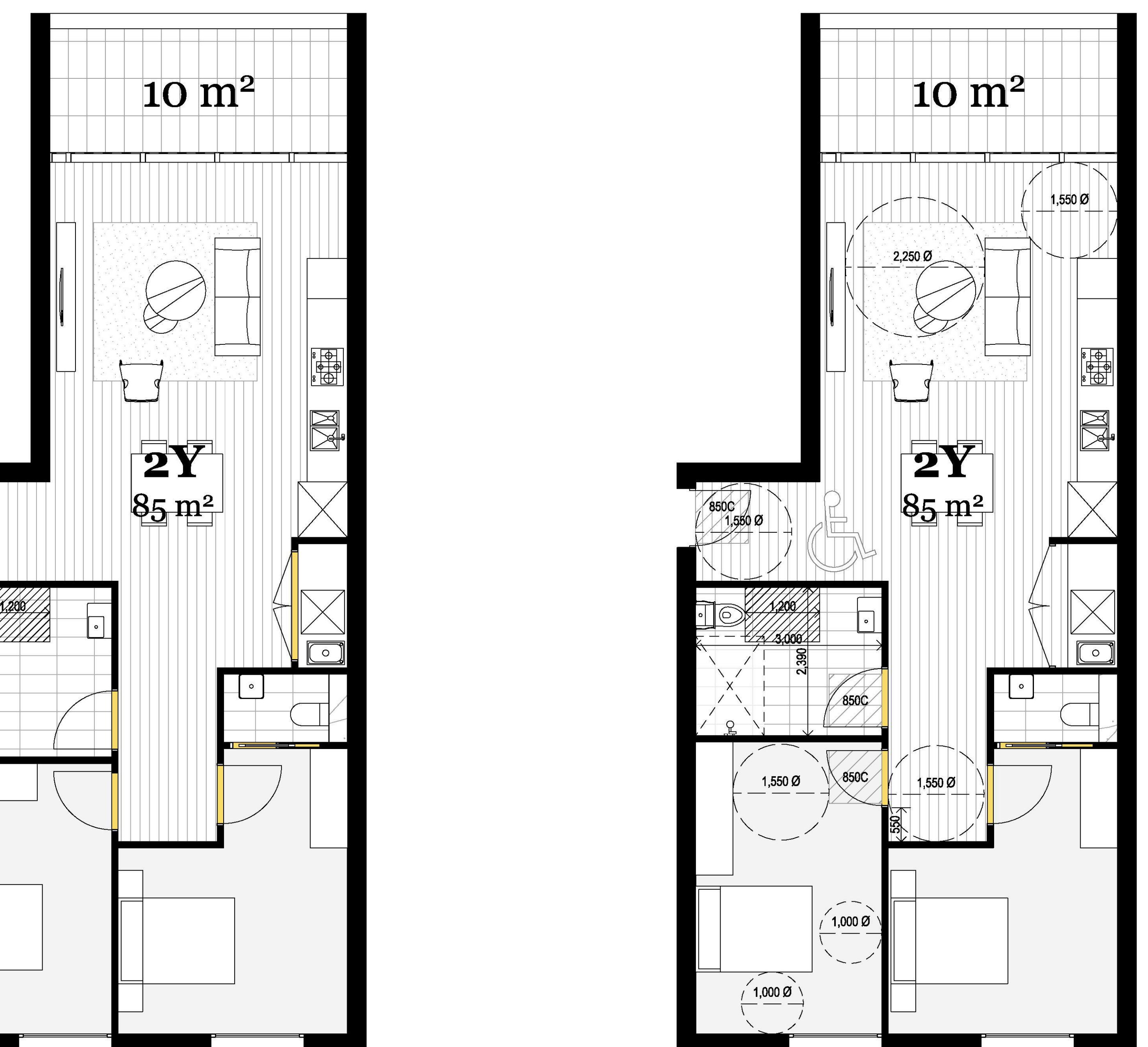
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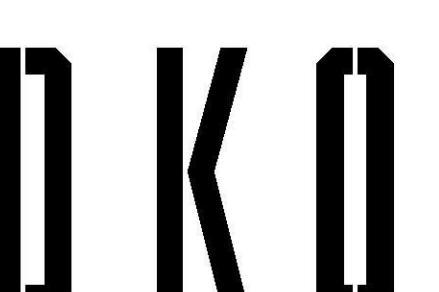


Pre-adaptable Unit _2C

Post-adaptable Unit _2C

Unit No.: 1.17; 2.17; 3.17; 4.17; 5.17; 6.17

Total Units: 6



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Project Name: Lord Sheffield Circuit Penrith
Project Number: 12116
Project Address: Lot 210 & 211 Lord Sheffield Circuit, Penrith, NSW 2075
Drawn By: Checked By: Date: Scale:
March 2019
1:50 @ A1

Drawing Series: DA Plans_Lot 211
Drawing Name: Adaptable Units

Drawing Number: DA206
Revision: A

Adaptable Unit Specifications

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Lifts

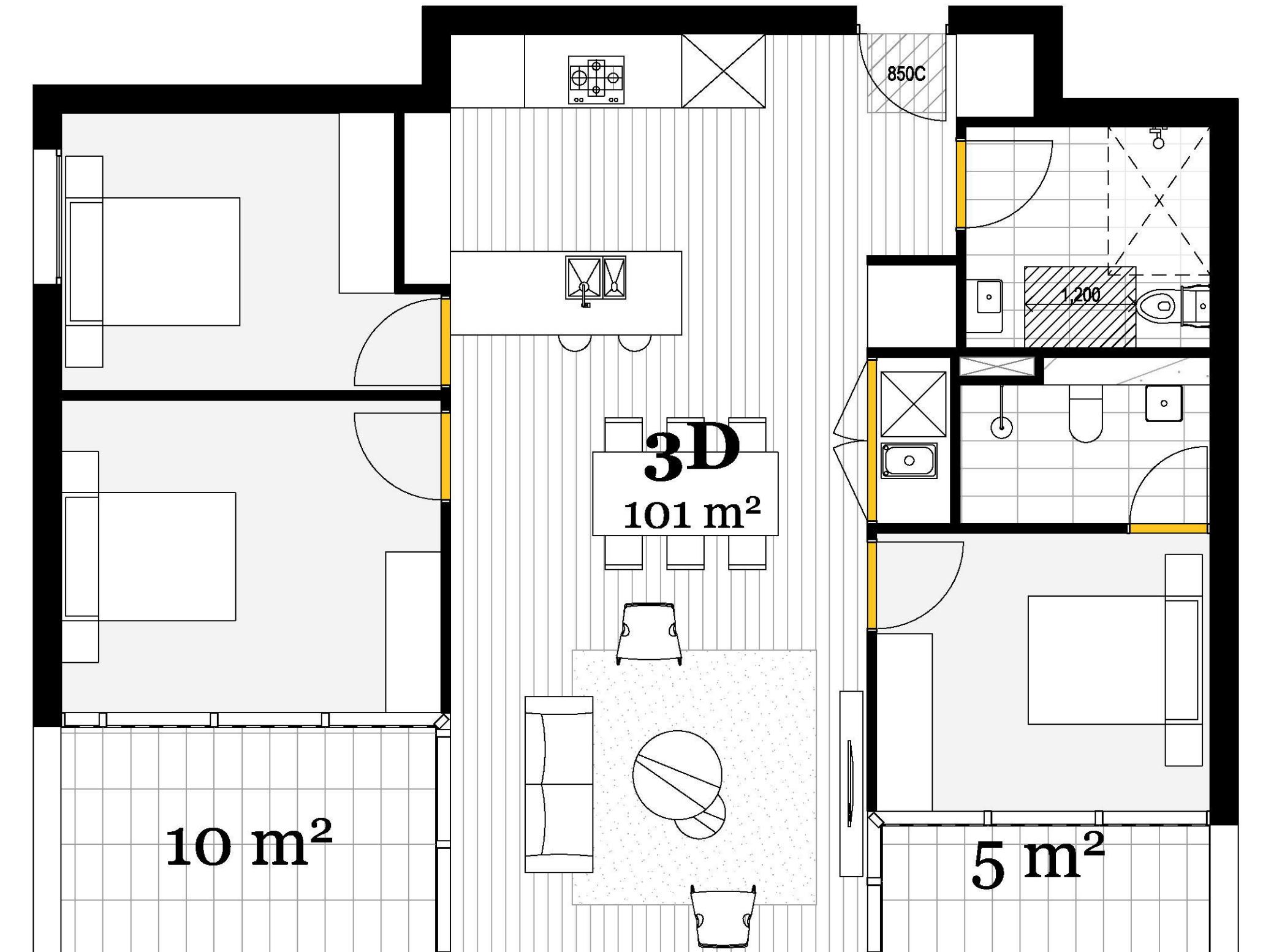
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Slip resistance

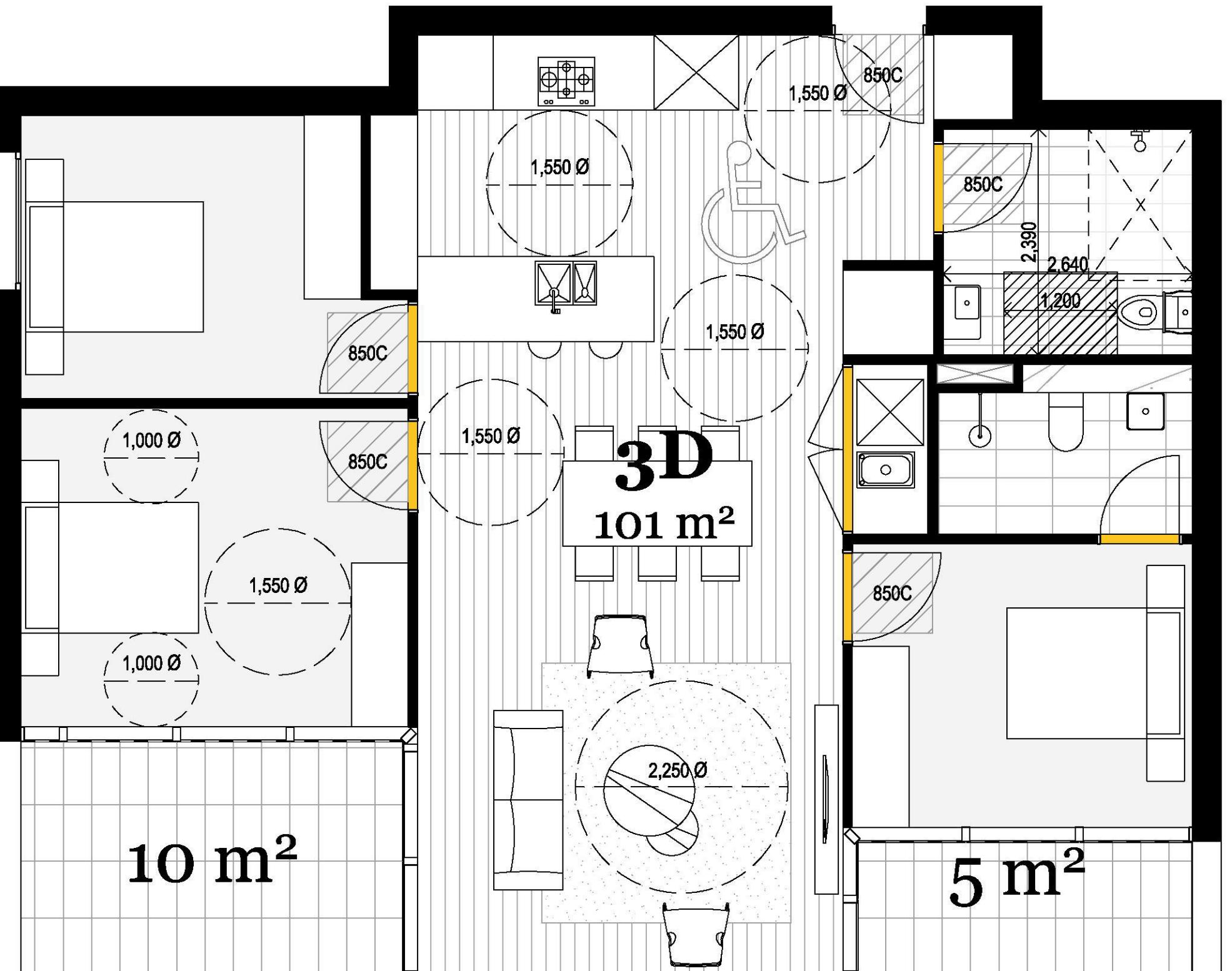
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Pre-Adaptable Unit _ 3D



Post-Adaptable Unit _ 3D

Unit No.: 2.22; 3.22; 4.22; 5.22; 6.22; 7.16

Total Units: 6

Total Adaptable Units: 18

Rev. A Date 05/04/19 By MJ Ckd SO Description Issue for Substitution

Client Details
Urban Property Group
Patrick Elias

URBAN

Consultants

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QS - MMDC
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Project Name
Project Number
Project Address

Drawn By
Checked By
Date
Scale

Drawing Series
Drawing Name
GA Plans _ Lot 211
Adaptable Units

Drawing Number DA207
Revision A

Silver Standard Livable Housing Unit Specifications

Dwelling Access

For Class 2 buildings, the Commonwealth Disability (Access to Premises – Buildings) Standards 2010/5 require a safe and continuous pathway from the pedestrian entrance to at least one floor containing sole occupancy units and to the entrance of units located on that level.

Dwelling Entrance

- a. The dwelling should provide an entrance door with -
 - i. a minimum clear opening width of 820mm
 - (see Figure 2(a));
 - ii. a level (step-free) transition and threshold (maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or beveled); and
 - iii. reasonable shelter from the weather.
- b. A level landing area of 1200mm x 1200mm should be provided at the level (step-free) entrance door.
- c. Where the threshold at the entrance exceeds 5mm and is less than 56mm, a ramped threshold may be provided (see Figure 1(b)).
- d. The level (step-free) entrance should be connected to the safe and continuous pathway as specified in Element 1.

Car Parking

- a. Where the parking area forms part of the dwelling access the space should incorporate:
 - i. minimum dimensions of at least 3200mm (width) x 4000mm (length);
 - ii. an even, firm and slip resistant surface; and
 - iii. a level surface (1:40 maximum gradient, 1:33 maximum gradient for bitumen).

Internal doors and Corridors

- a. Doorways to rooms on the entry level used for living, dining, bedroom, bathroom, kitchen, laundry and sanitary compartment purposes should provide:
 - i. a minimum clear opening width of 820mm (see Figure 2(a)); and
 - ii. a level transition and threshold (maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or beveled).
- b. Internal corridors/passage ways to the doorways referred to in (a) should provide a minimum clear width of 1000mm.

Toilet

- a. Dwellings should have a toilet on the ground (or entry) level that provides:
 - i. a minimum clear width of 900mm between the walls of the bathroom if located in a separate room; and
 - ii. a minimum 1200mm clear circulation space forward of the toilet pan exclusive of the swing of the door in accordance with Figure 3(a).
- b. If the toilet is located within the ground (or entry) level bathroom, the toilet pan should be located in the corner of the room to enable the installation of grab rails.

Shower

- a. One bathroom should feature a slip resistant, hobless (step-free) shower recess. Shower screens are permitted provided they can be easily removed at a later date.
- b. The shower recess should be located in the corner of the room to enable the installation of grab rails at a future date.

Internal Stairways

- a. Stairways in dwellings must feature:
 - i. a continuous handrail on one side of the stairway where there is a rise of more than 1m.

Kitchen Space

No requirements.

Laundry Space

No requirements.

Ground level Bedroom Space

No requirements.

Switches and Powerpoints

No requirements.

Door and Tap Hardware

No requirements.

Family/living room space

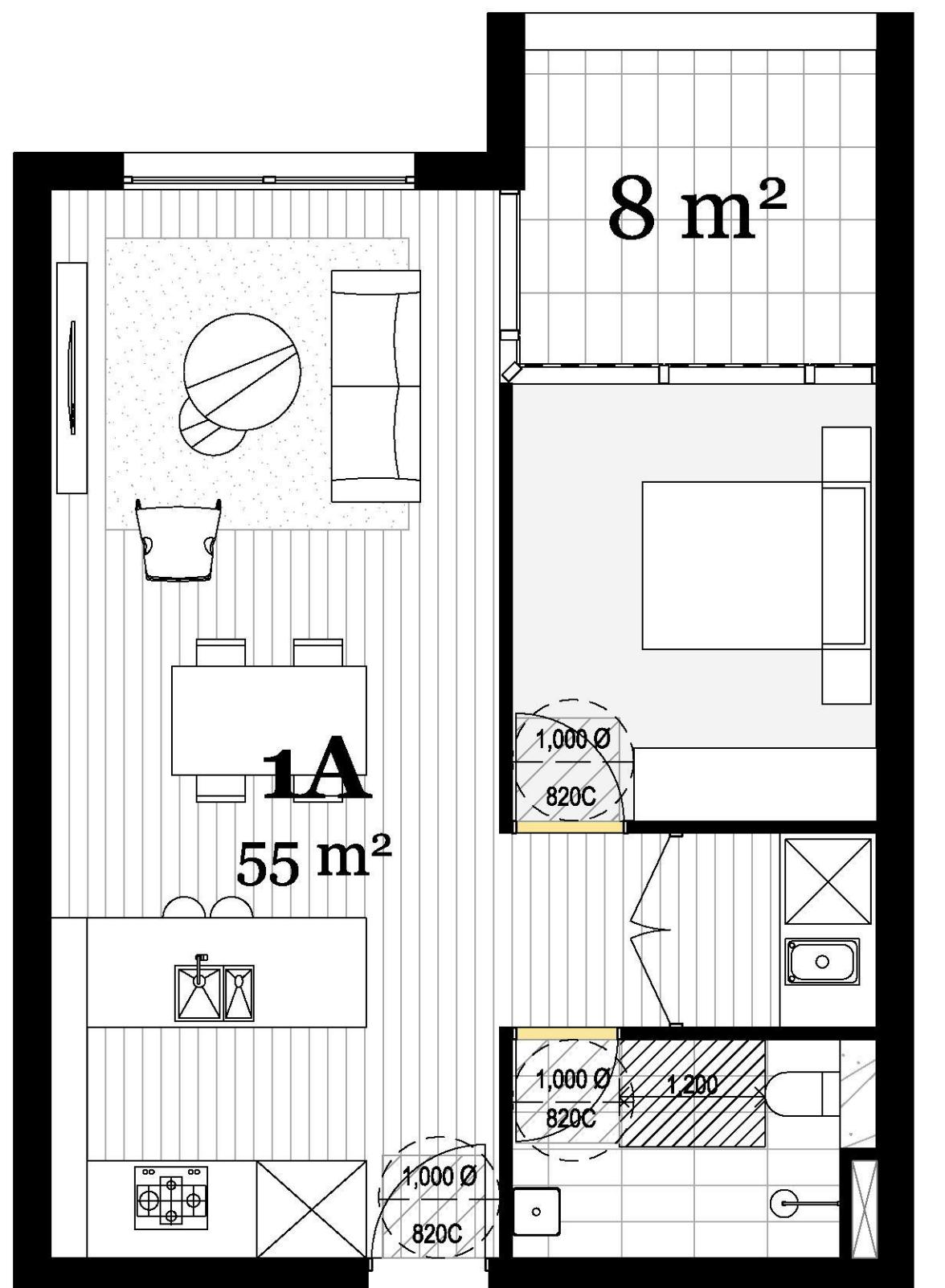
No requirements.

Window Sills

No requirements.

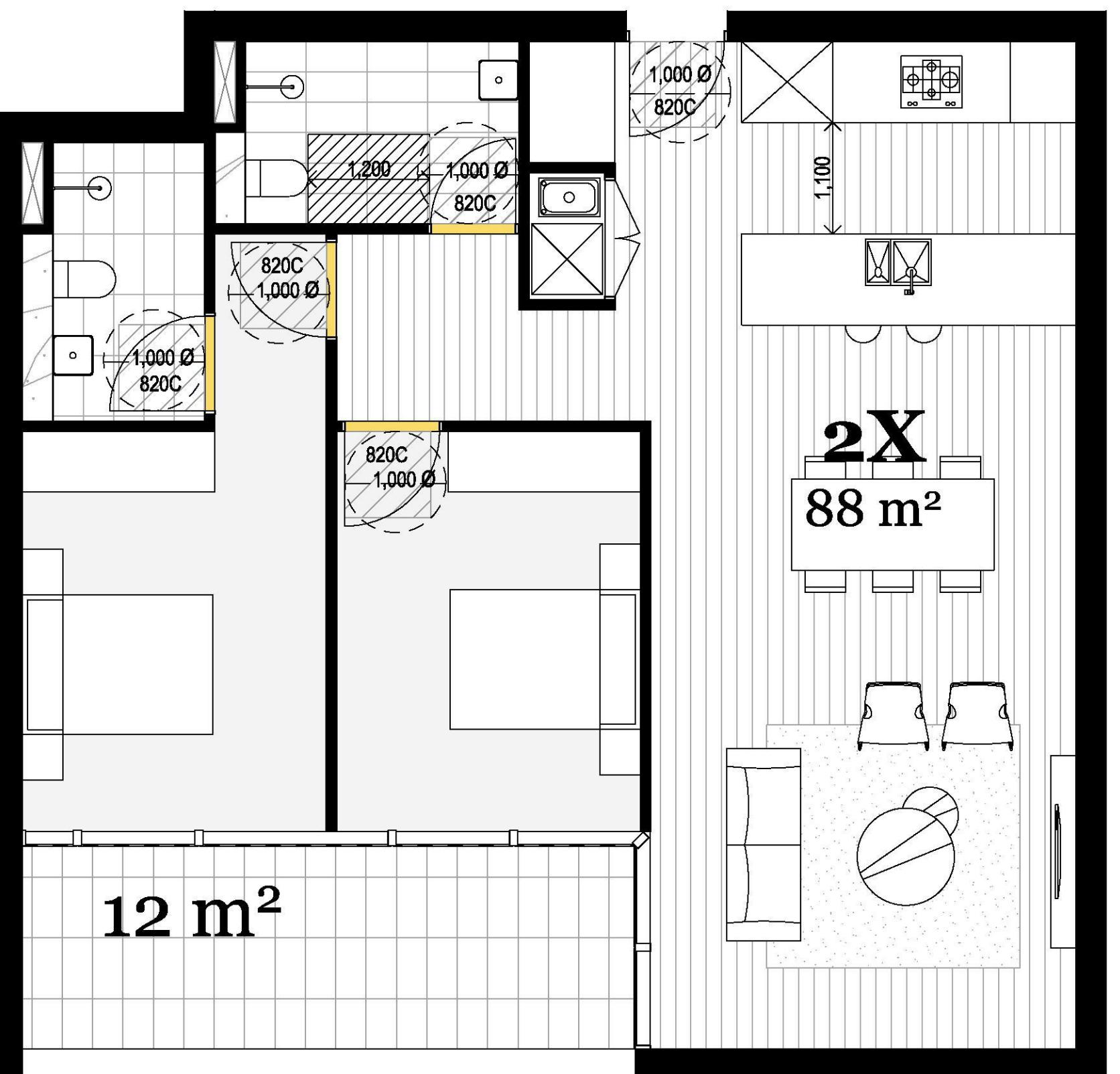
Flooring

No requirements.



**Unit No.: 1.05; 1.19; 2.05; 2.19;
3.05; 3.19; 4.05; 4.19; 5.05; 5.19;
6.05; 6.19**

Total Units: 12



**Unit No.: 1.15; 2.15; 3.15; 4.15; 5.15;
6.15; 7.11**

Total Units: 7

Total Adaptable Apartments: 18

Total Silver Standard Livable Housing Units: 37

Rev. A Date 05/04/19 By MJ Ckd SO Description Issue for Substitution

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Patrick Elias

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Project Name Lord Sheffield Circuit Penrith
Project Number 12116
Project Address Lot 210 & 211 Lord Sheffield
Circuit, Penrith, NSW 2075

Drawn By Checked By Date Scale
March 2019 1:50 @ A1

Drawing Series GA Plans_Lot 211
Drawing Name Livable Housing Units

Drawing Number DA208
Revision A

Lord Sheffield Circuit Penrith
12116
Lot 210 & 211 Lord Sheffield
Circuit, Penrith, NSW 2075

Approved DA



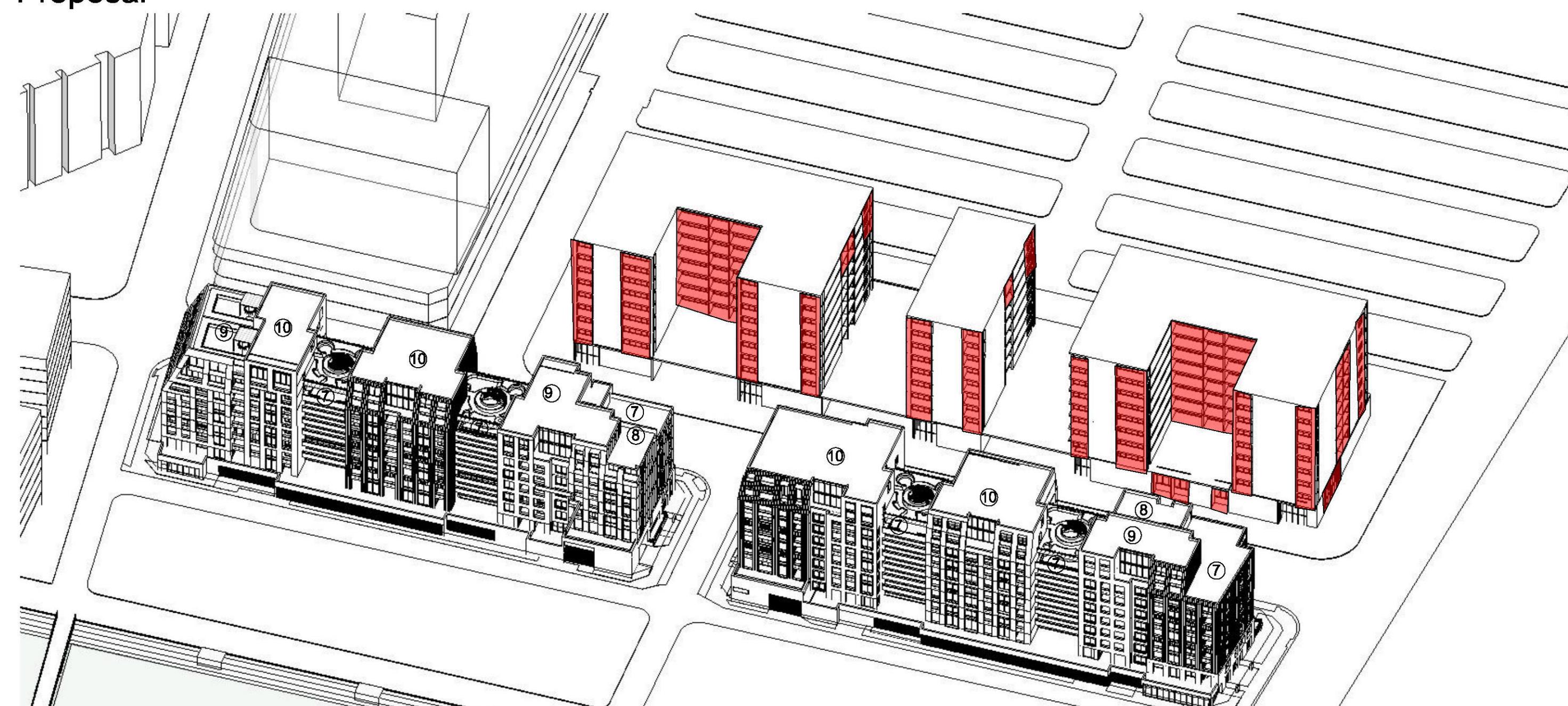
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32m Height Block



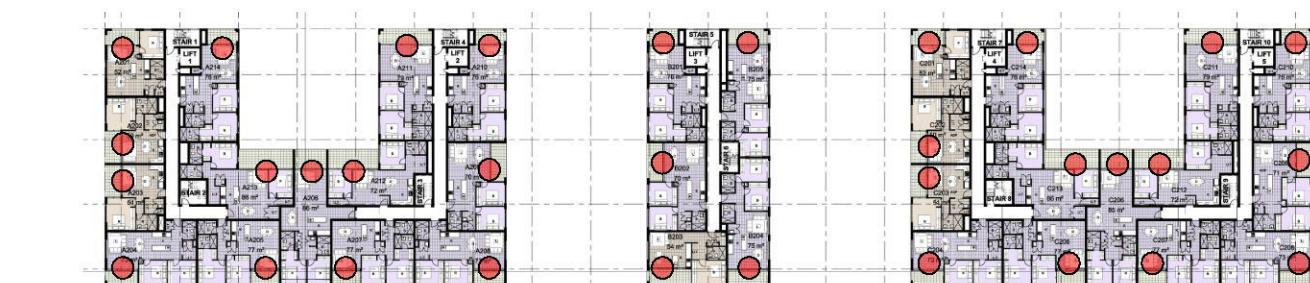
Proposal



Lot 211

Lot 210

Lord Sheffield Circuit



39 Lord Sheffield Circuit, Penrith:
Total : 268 units
2hrs solar: 168 units(62.6%)

Unit over 2hrs solar

Rev. A Date 05/04/19 By MJ Ckd SO Description Issue for Substitution

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Project Name
Project Number
Project Address

Lord Sheffield Circuit Penrith
12116
Lot 210&211 Lord Sheffield
Circuit,
Penrith, NSW 2075

Drawn By
Checked By
Date
Scale

March 2019
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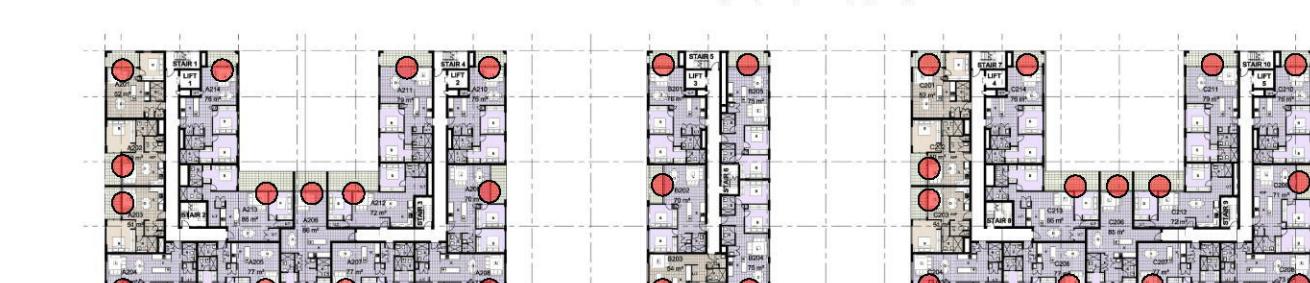
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Shadow & Solar Analysis to Lot
3105 Lord Sheffield Circuit

Drawing Number
Revision
DA502
A

Lot 211

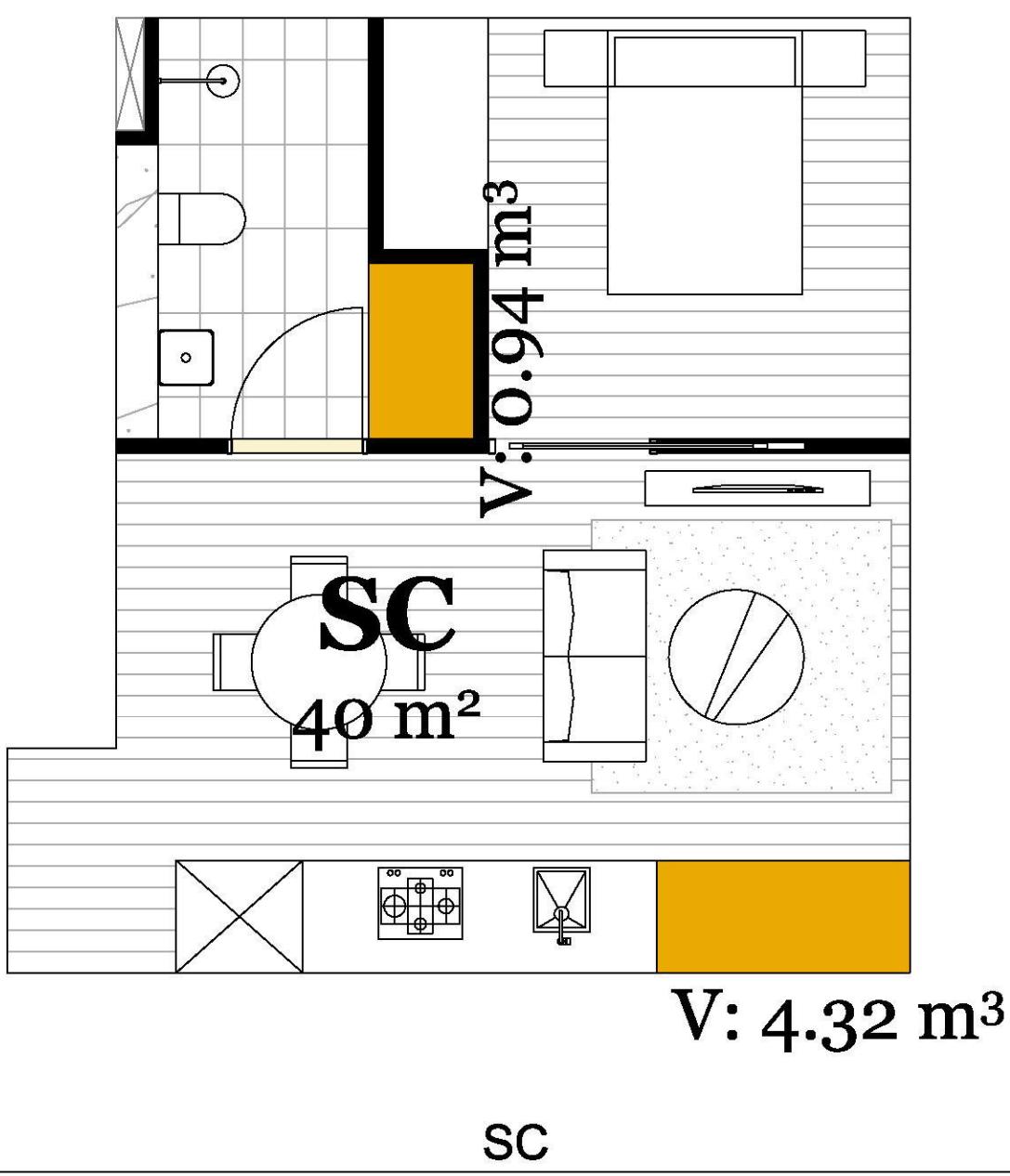
Lot 210

Lord Sheffield Circuit



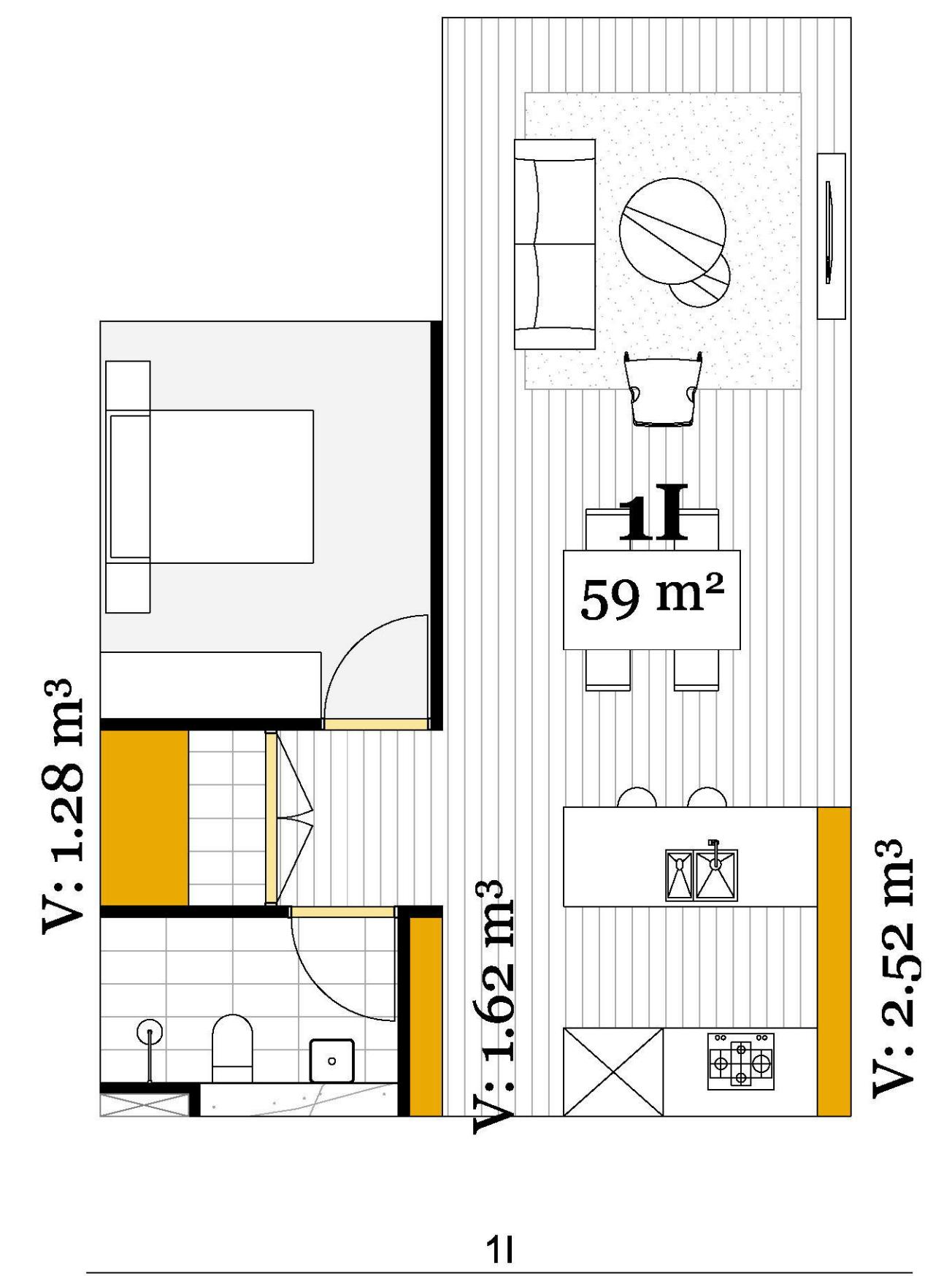
39 Lord Sheffield Circuit, Penrith:
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Unit over 2hrs solar



Studio ADG Storage Requirement : 4m³

5.26m³ provided within the apartment

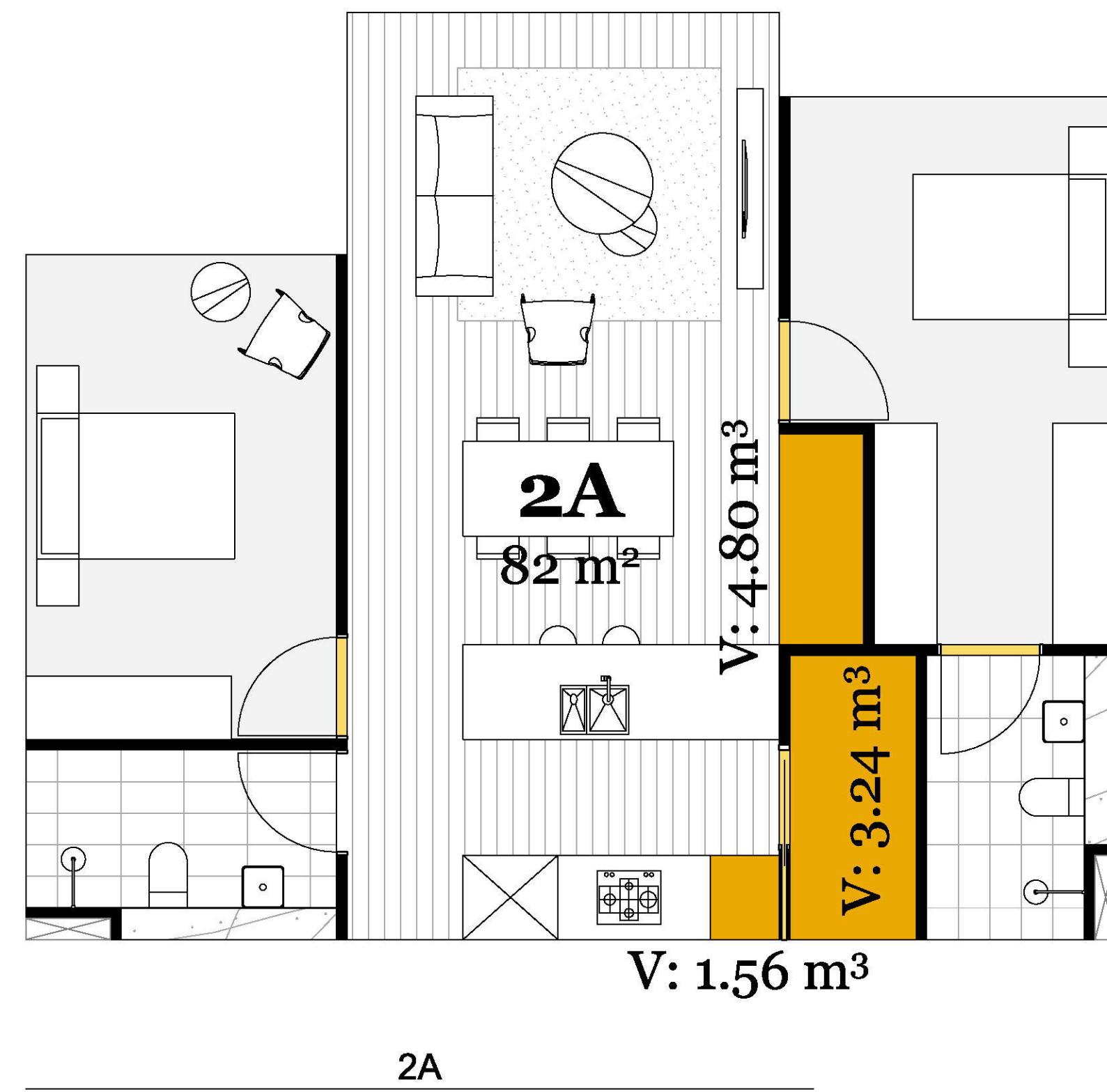


1 Bed ADG Storage Requirement : 6m³

5.42m³ provided within the apartment

5.77m³ provided within the basement

Total : 11.19 m³



2 Bed ADG Storage Requirement : 8m³

9.6m³ provided within the apartment

Rev. A Date 05/04/19 By MJ Ckd SO Description Issue for Substitution

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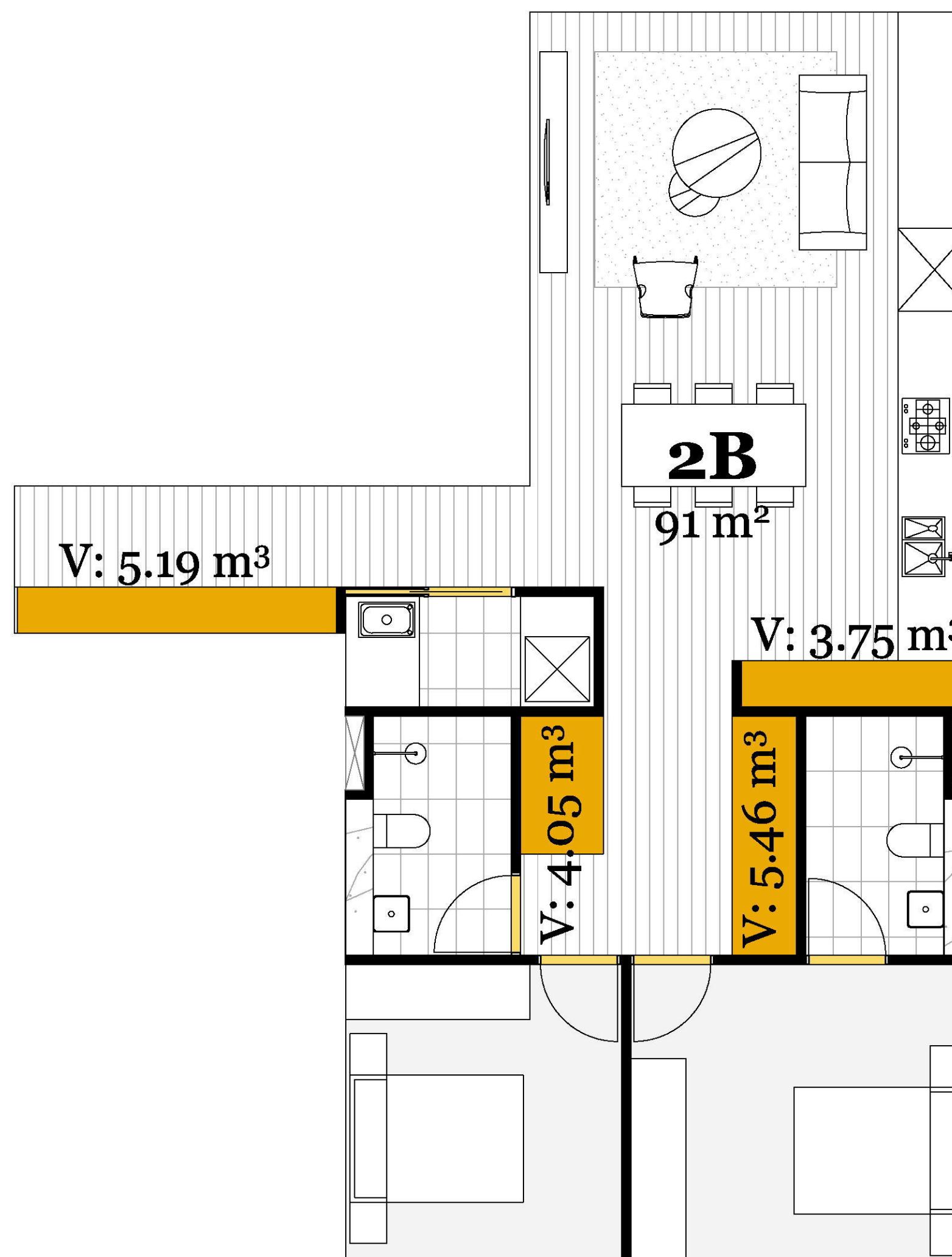
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Drawn By
Checked By
Date
Scale
Drawing Series
Drawing Name
Calculations
Storage Plans

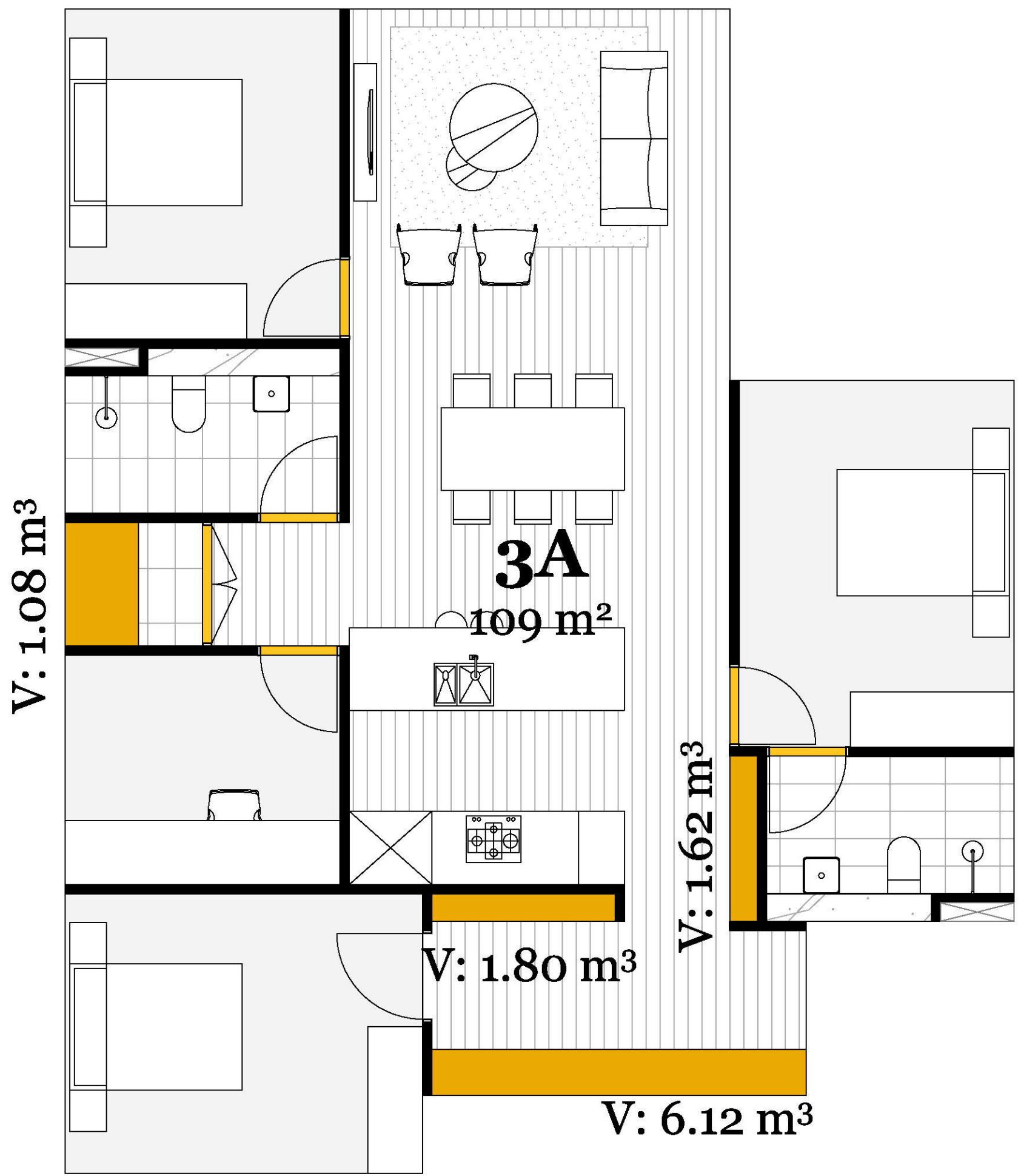
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12116
Lot 210 & 211 Lord Sheffield
Circuit
Penrith, NSW 2075
March 2019
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DA604
A



2 Bed ADG Storage Requirement : 8m³

18.45m³ provided within the apartment



3 Bed ADG Storage Requirement : 10m³

10.62m³ provided within the apartment

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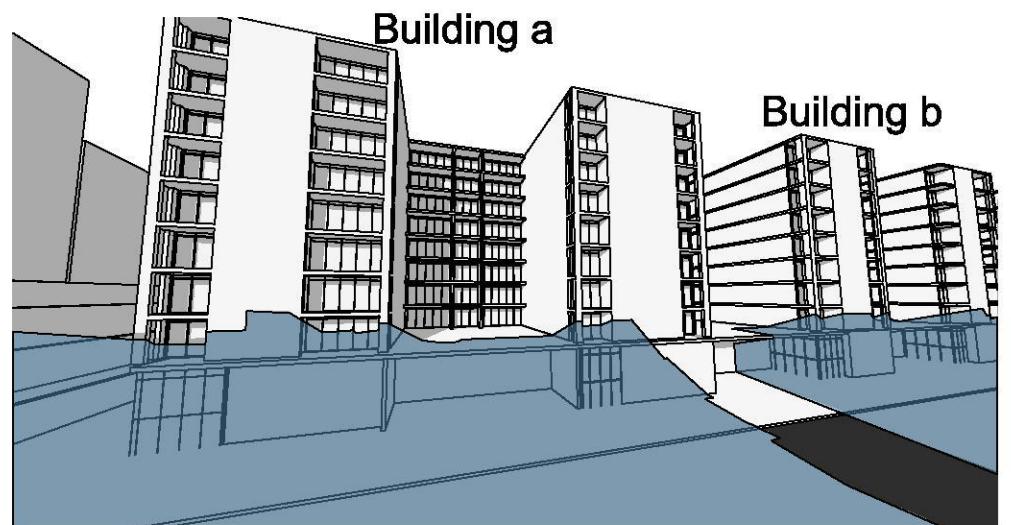
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12116
Lot 210&211 Lord Sheffield
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Project Name
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Date
Scale
Drawing Series
Drawing Name
Calculations
Storage Plans

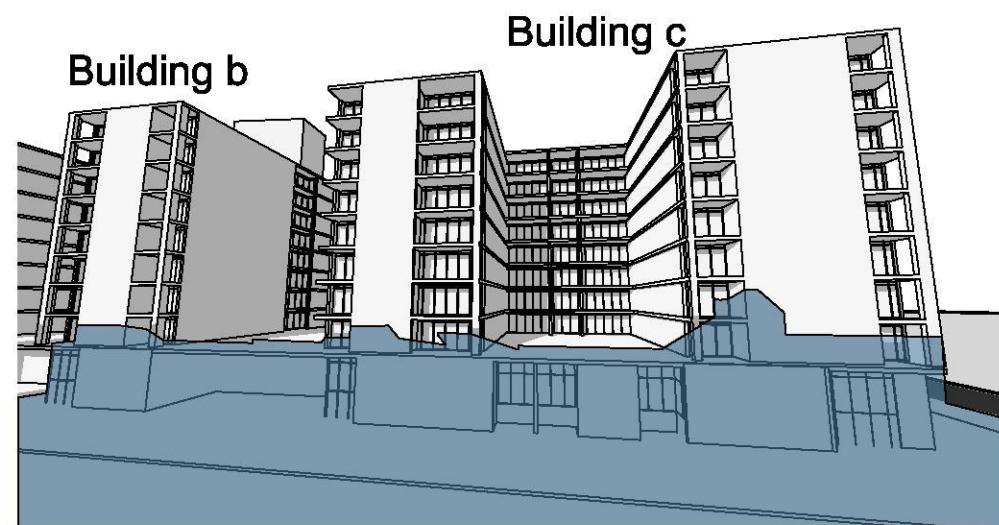
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Revision A

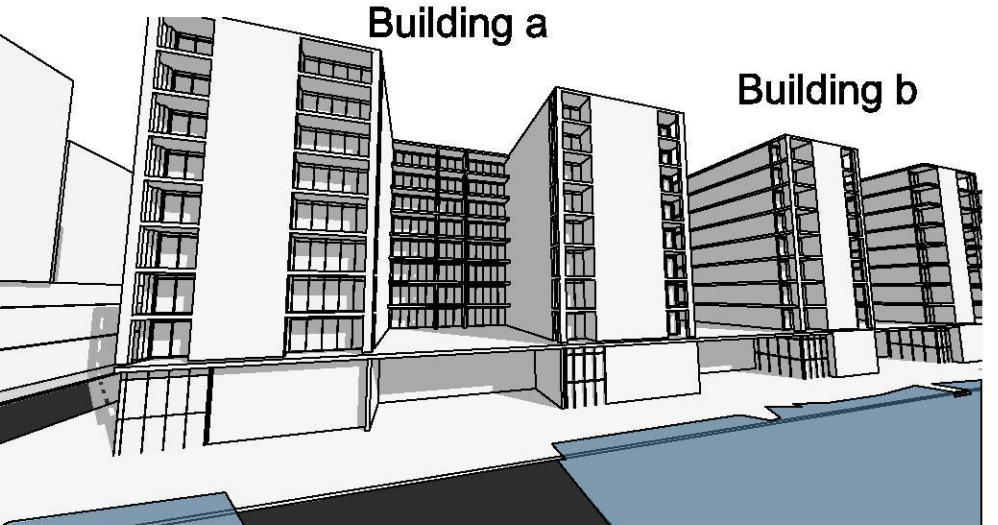
Approved DA



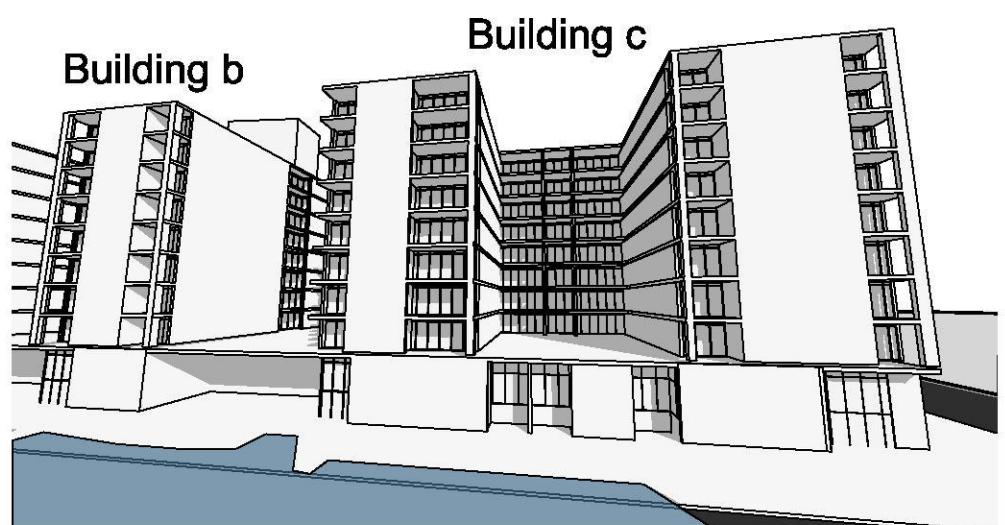
Jun 21st _9am



Jun 21st _9am



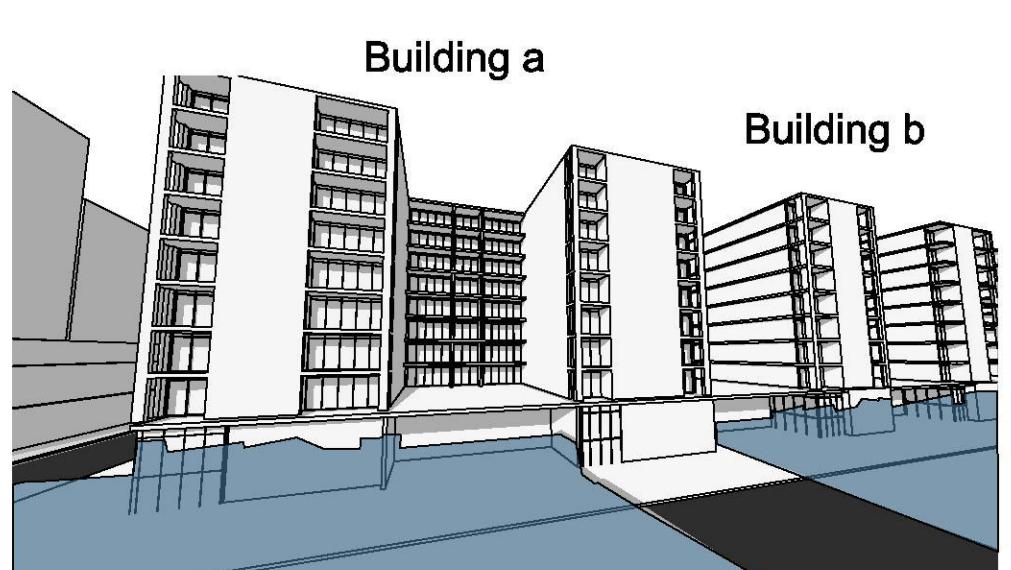
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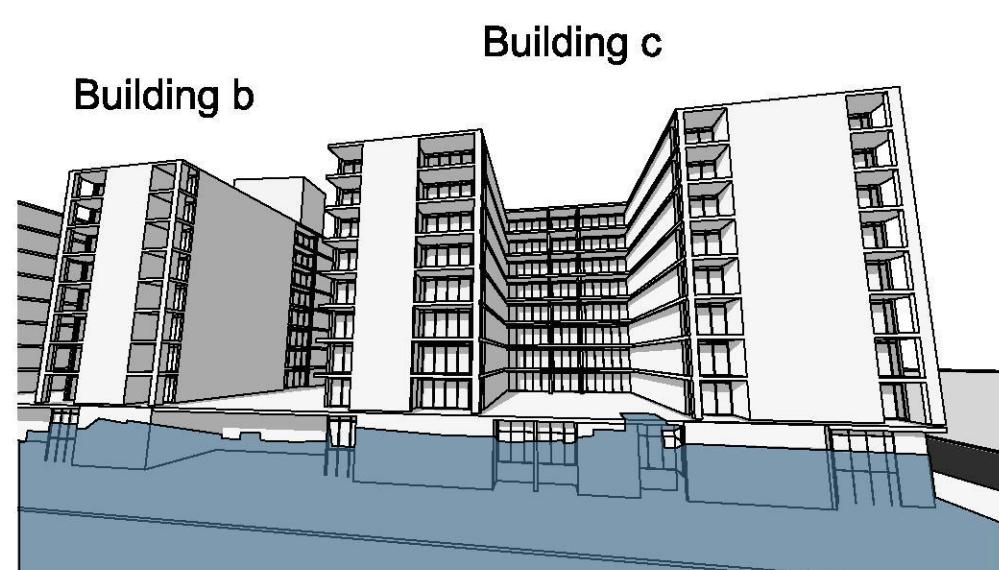
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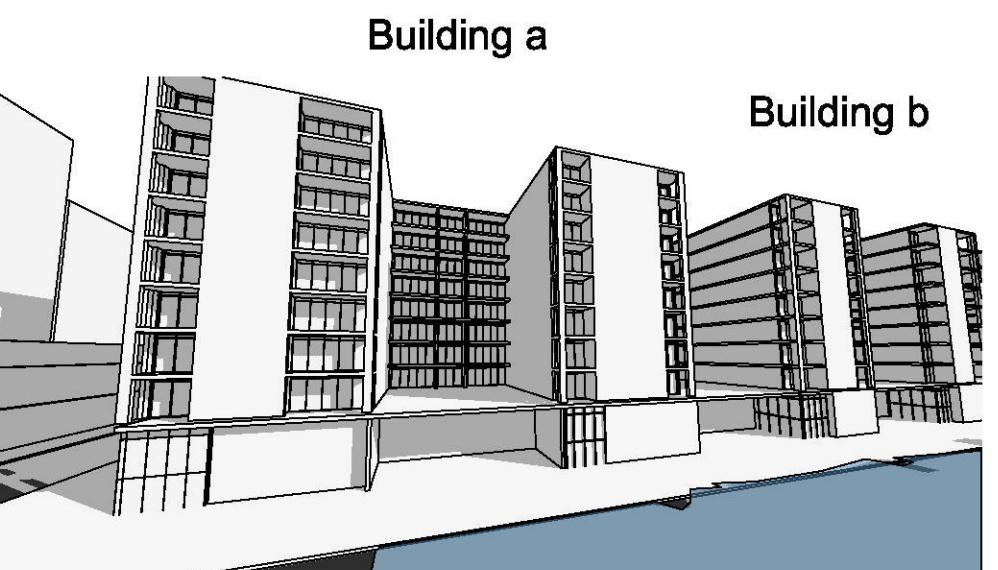
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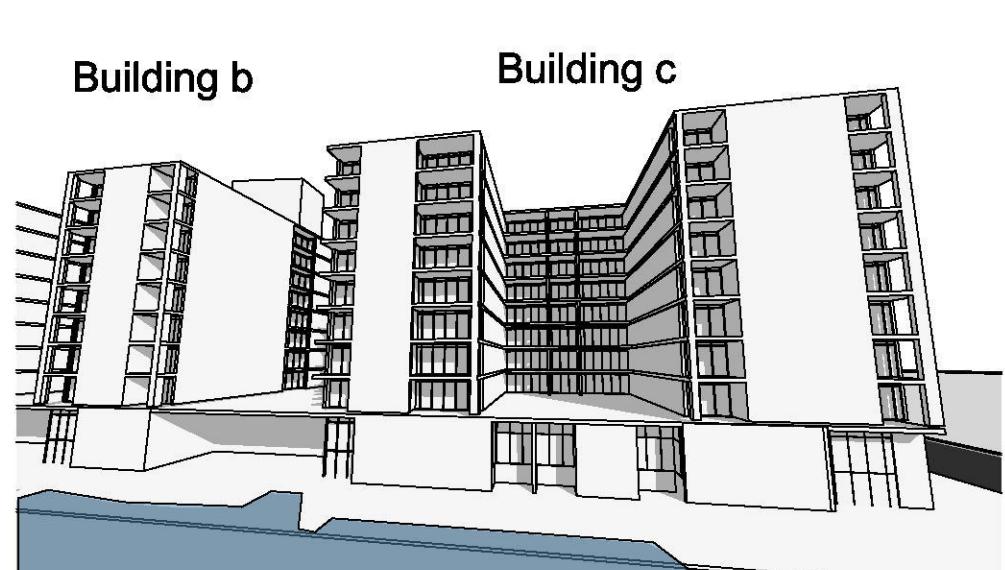
Jun 21st _10am



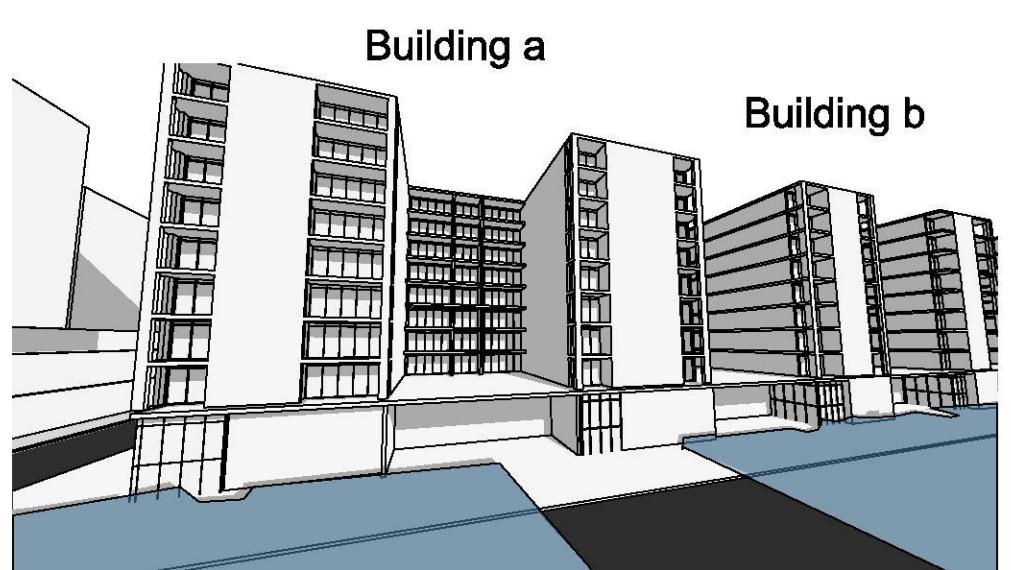
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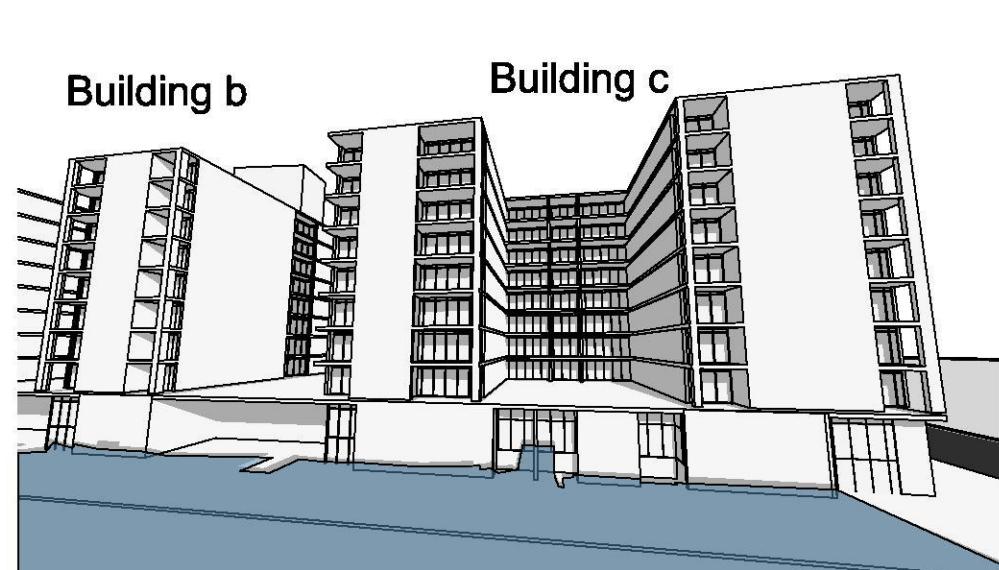
Jun 21st _2pm



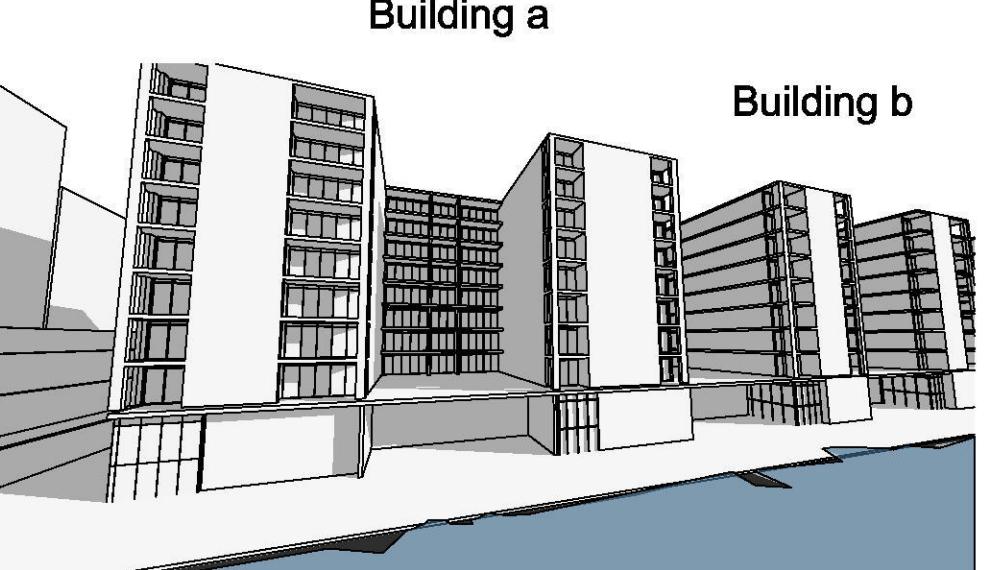
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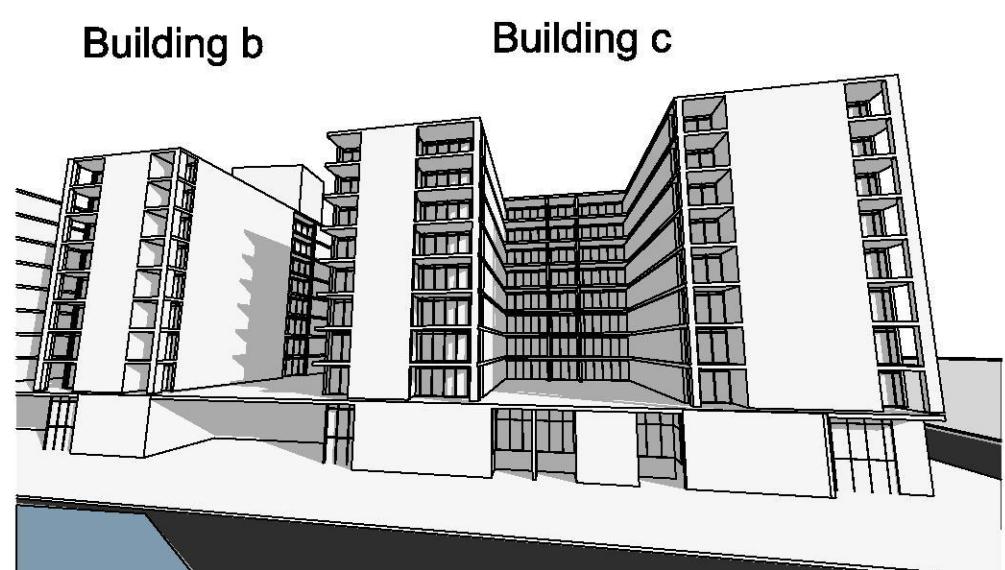
Jun 21st _11am



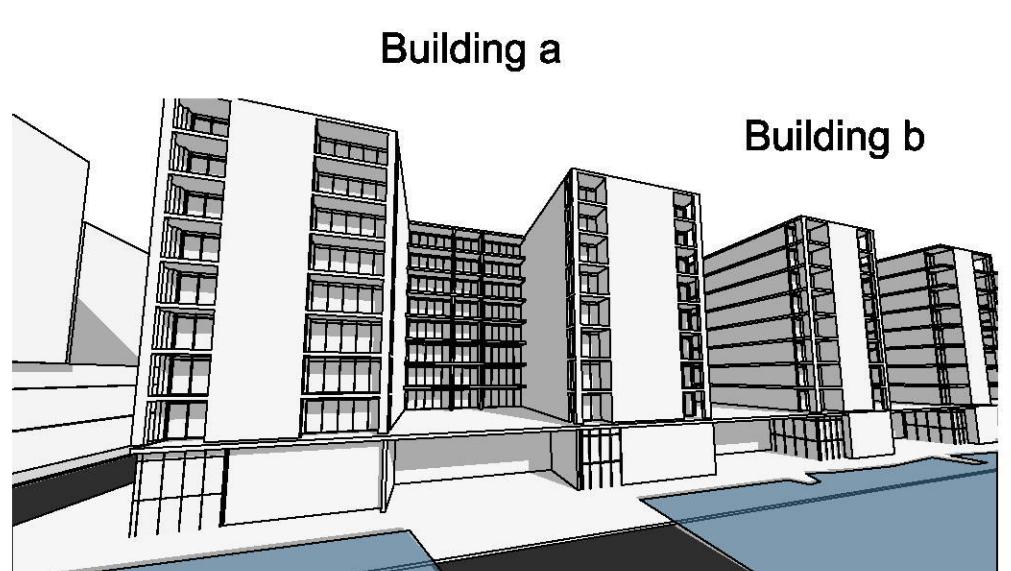
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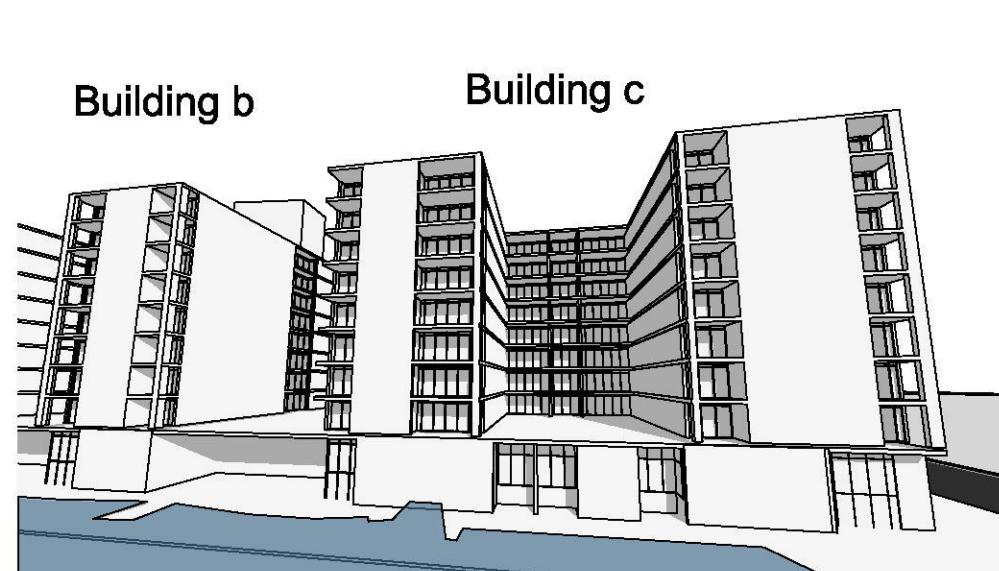
Jun 21st _3pm



Jun 21st _3pm



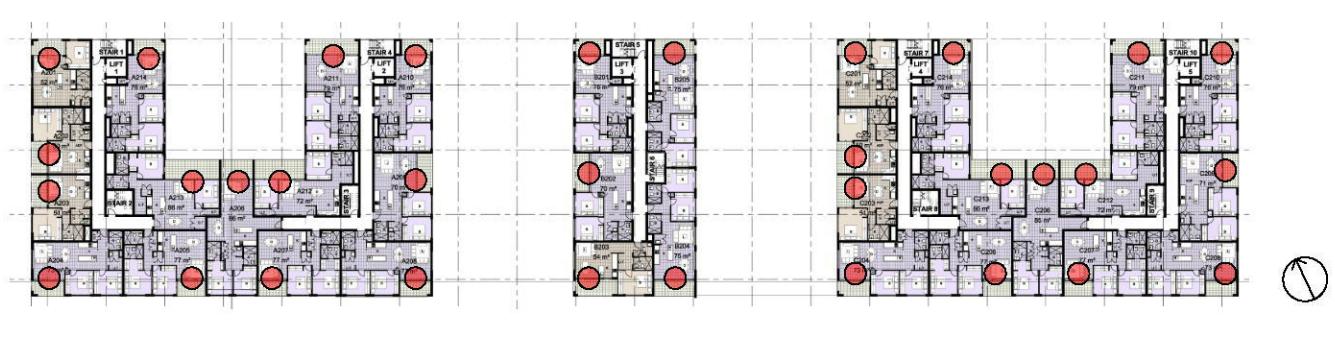
Jun 21st _12pm



Jun 21st _12pm

Lot 211 Lot 210

Lord Sheffield Circuit



Building c

Building b

Building a

Approved DA Shadow casting _ 21st Jun

Rev. A Date 05/04/19 By MJ Ckd SO Description Issue for Substitution

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Project Name
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Drawing Series
Drawing Name
Drawing Number DA505
Revision A

Lord Sheffield Circuit Penrith
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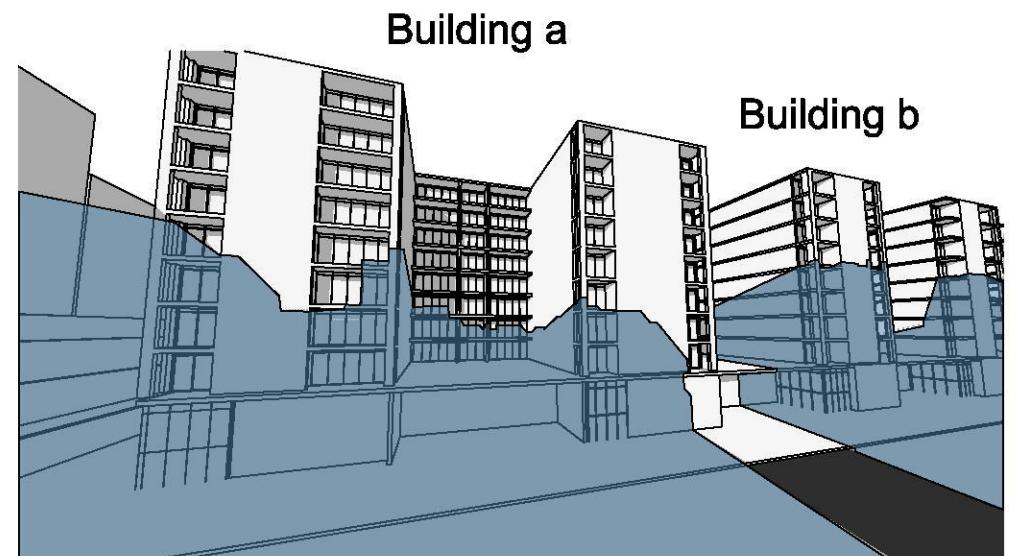
March 2019
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Shadow & Solar Analysis
Shadow Diagram_Approved DA

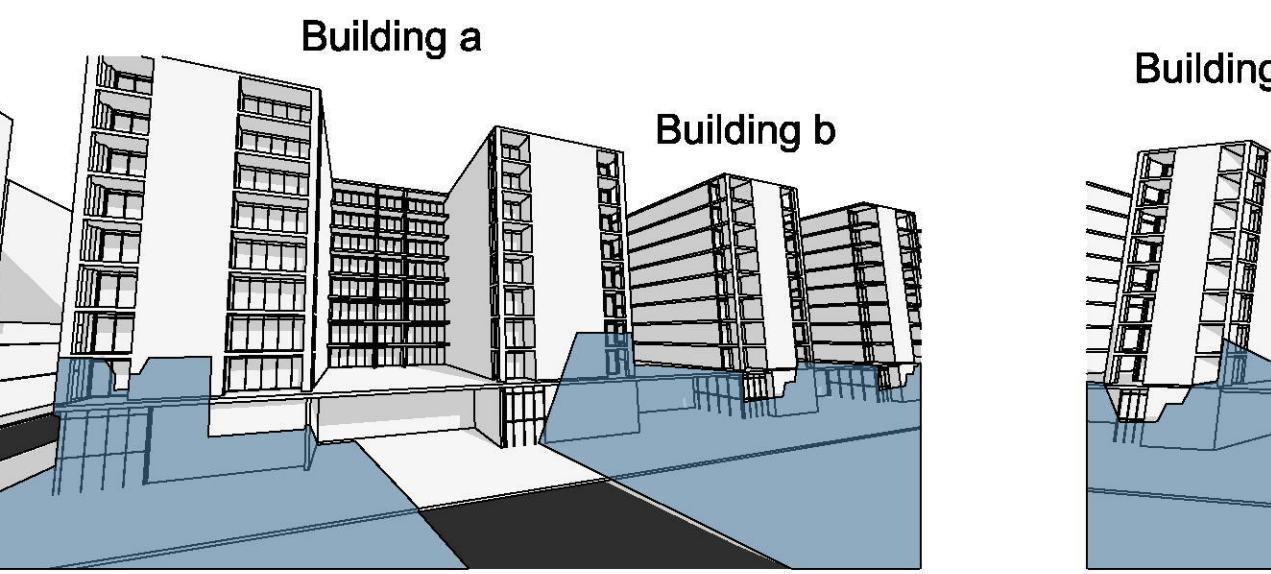
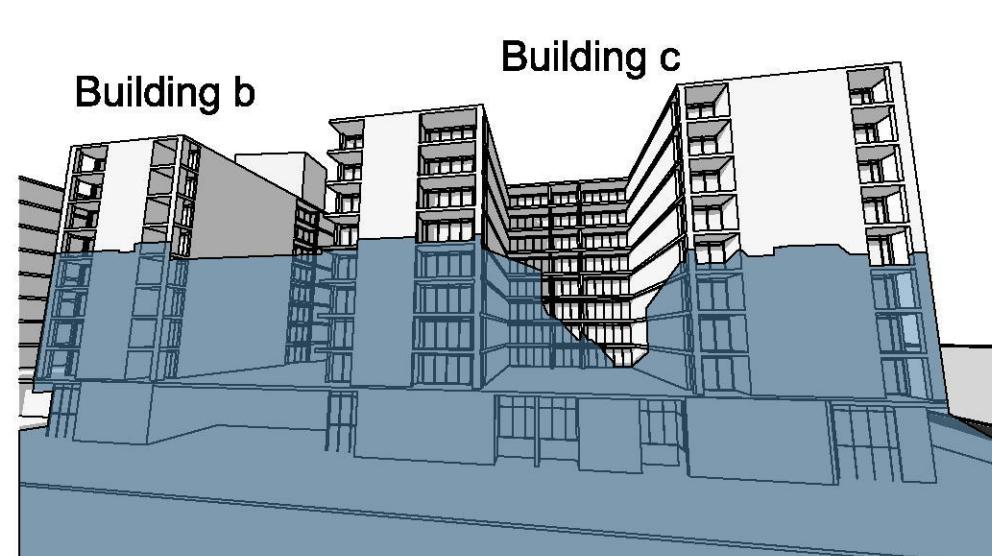
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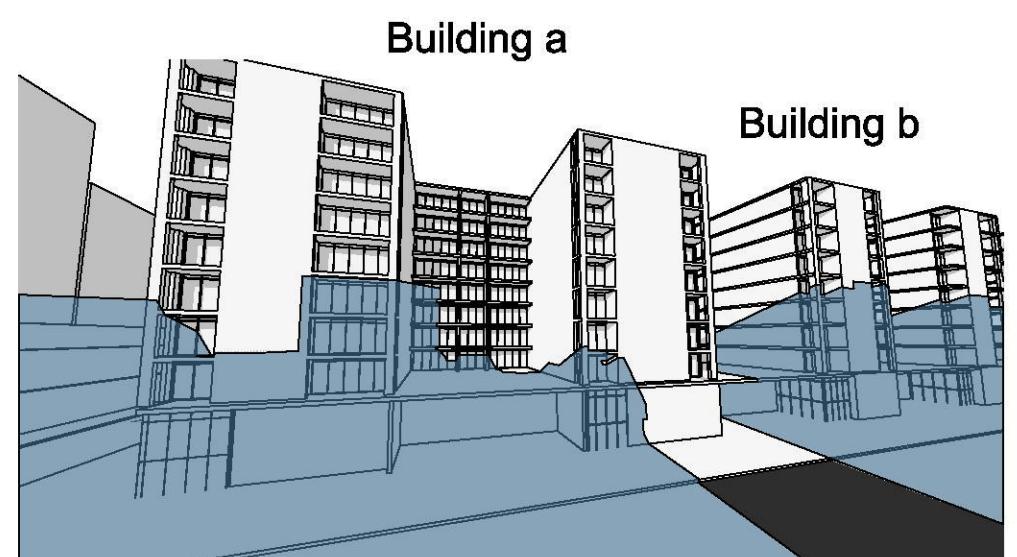
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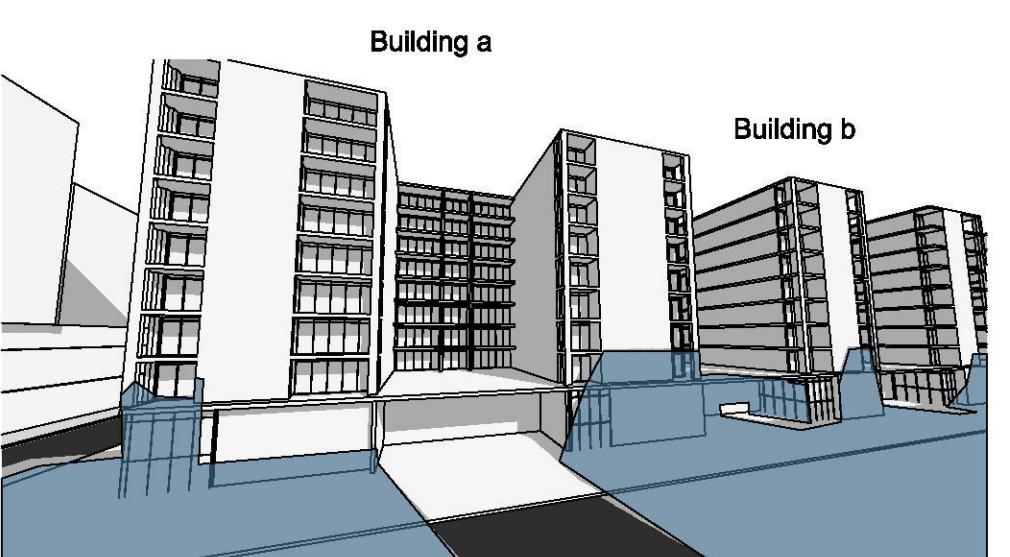
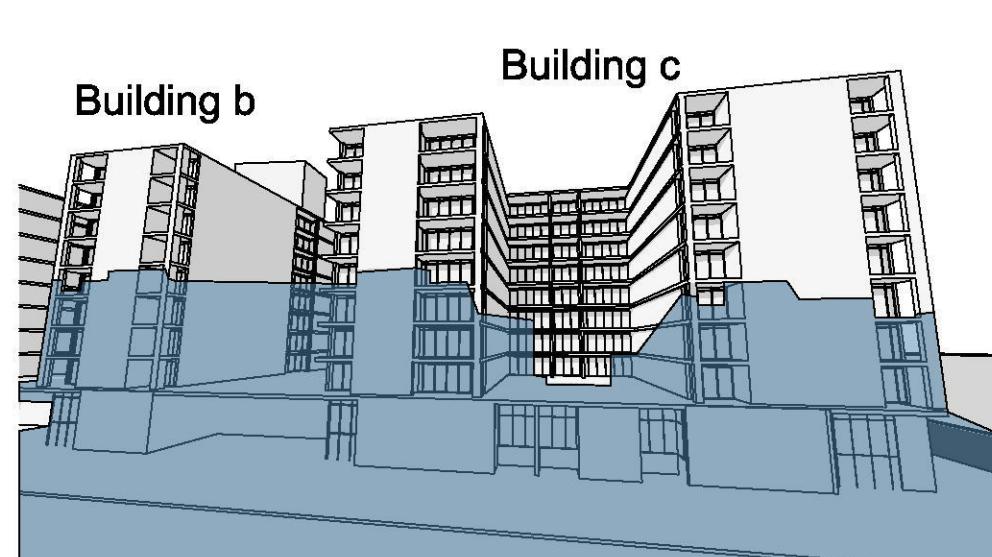
Jun 21st _9am



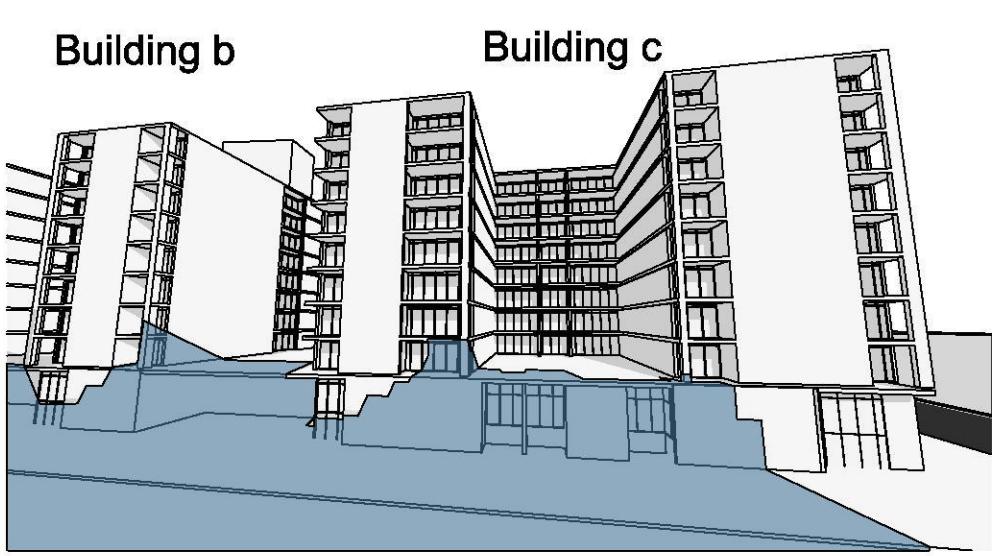
Jun 21st _11.30am



Jun 21st _9.30am



Jun 21st _12pm



Rev. A Date 05/06/19 By MJ Ckd SO Description Issue for Substitution

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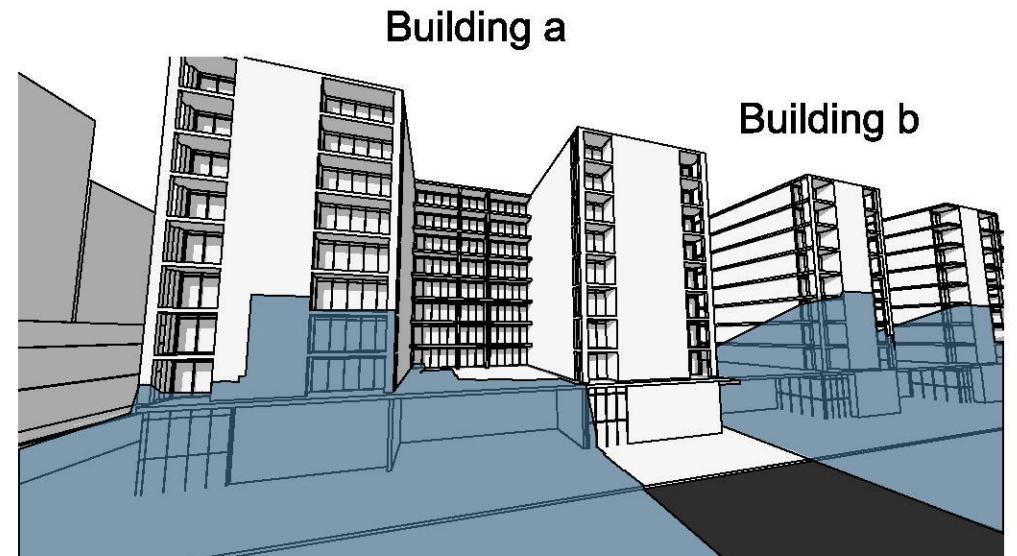
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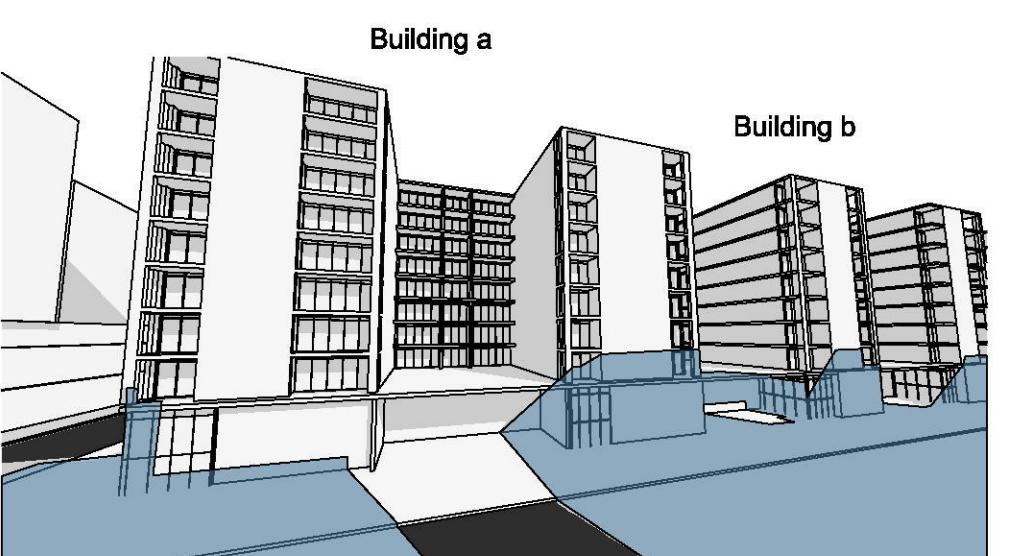
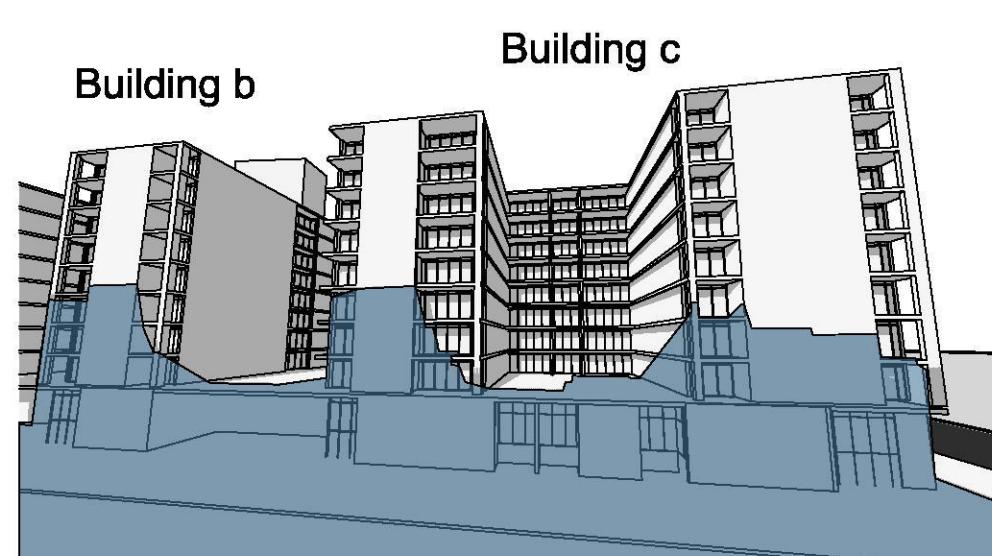
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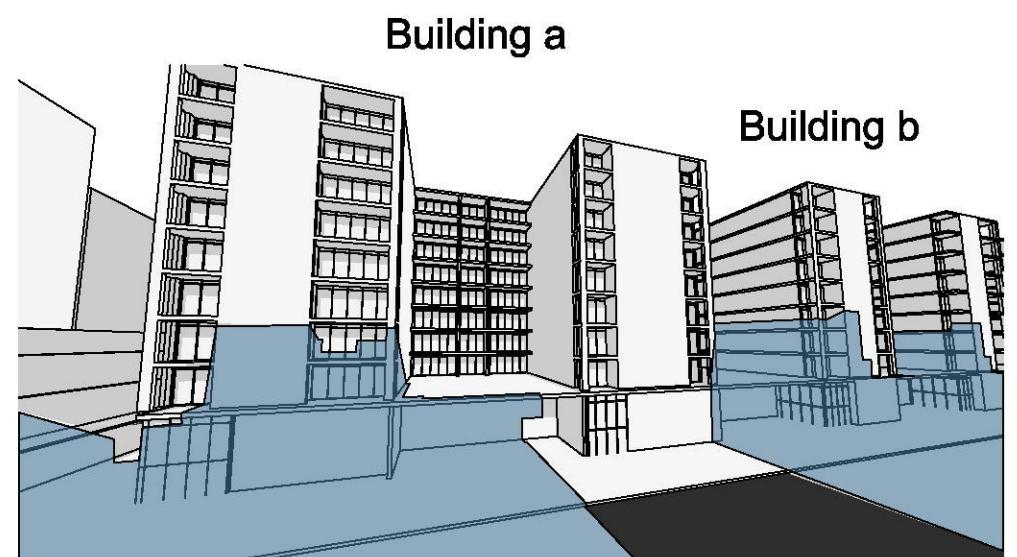
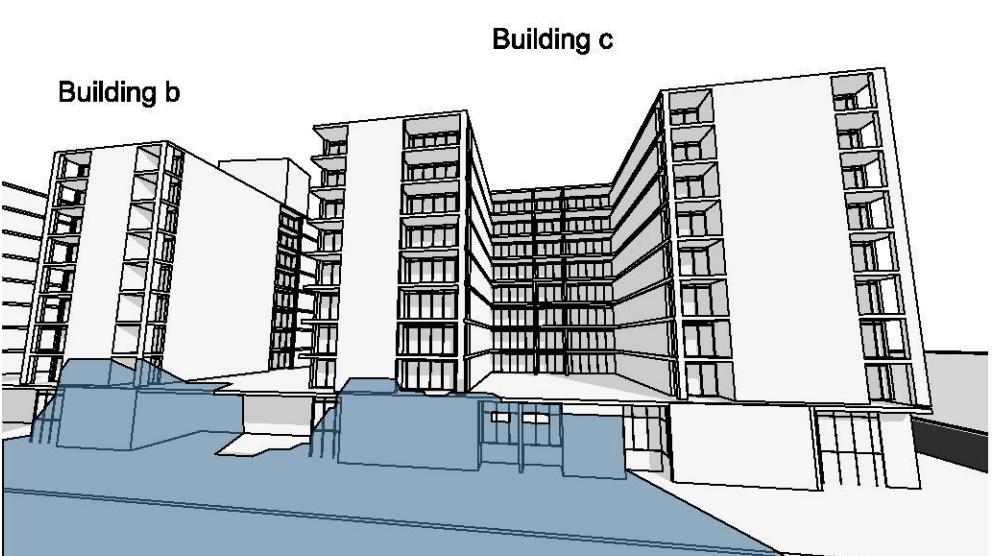
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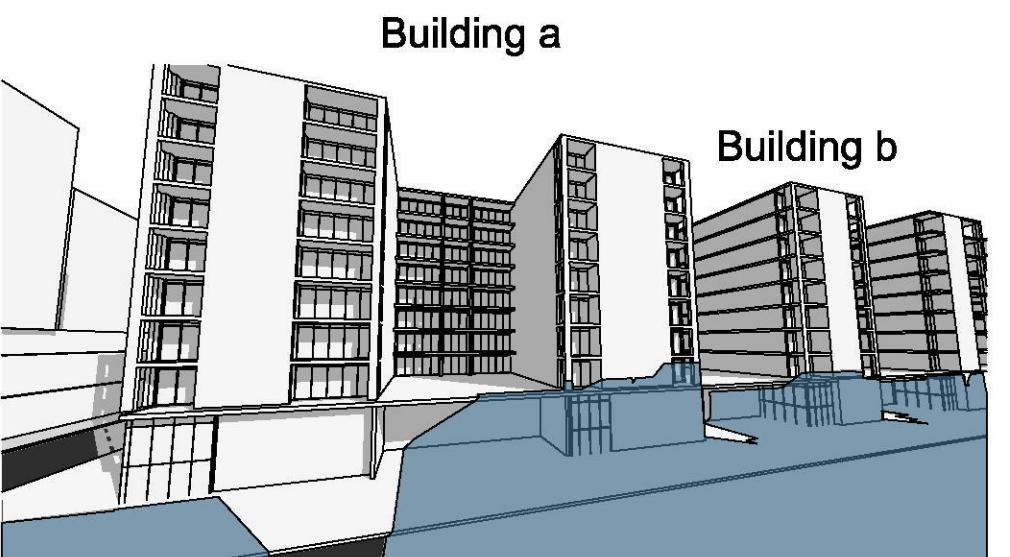
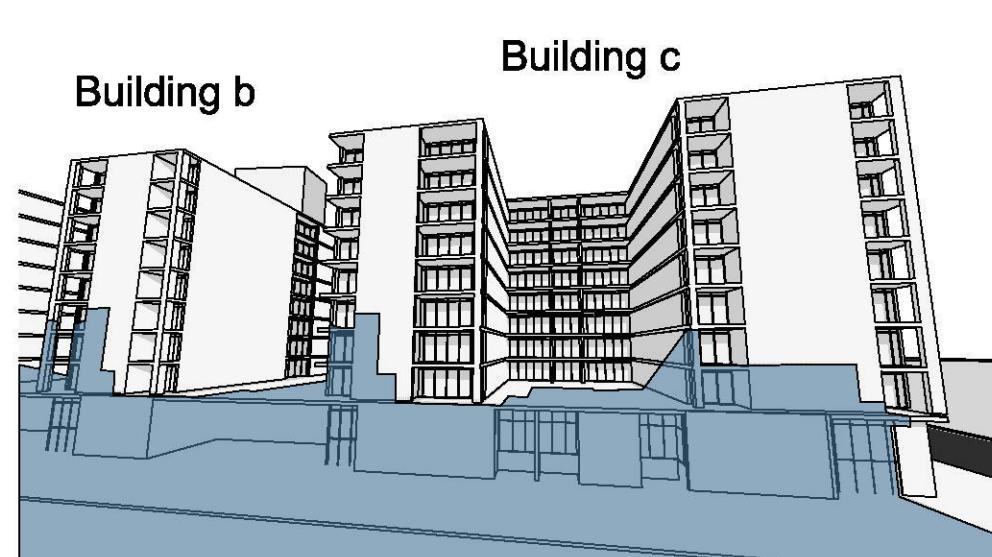
Jun 21st _10am



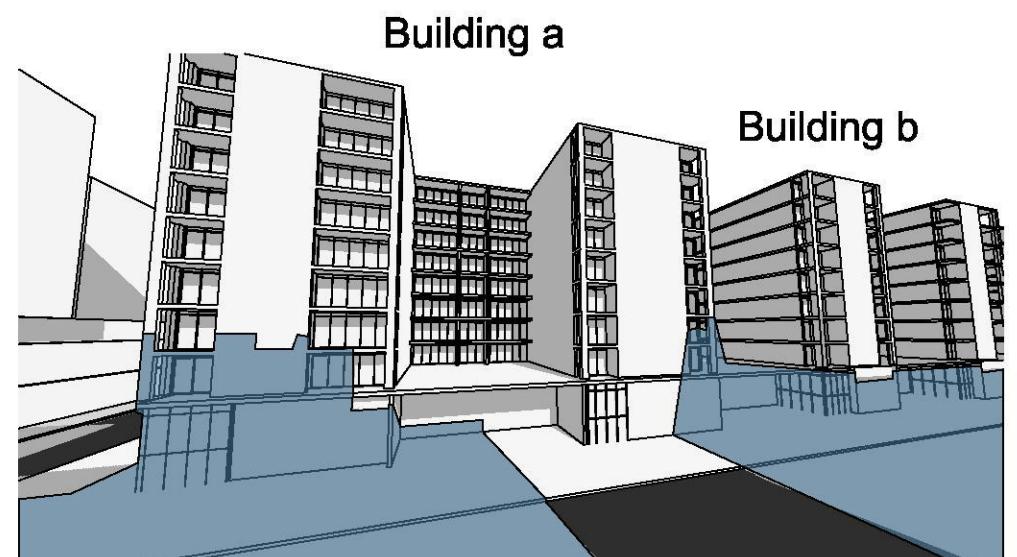
Jun 21st _12.15pm



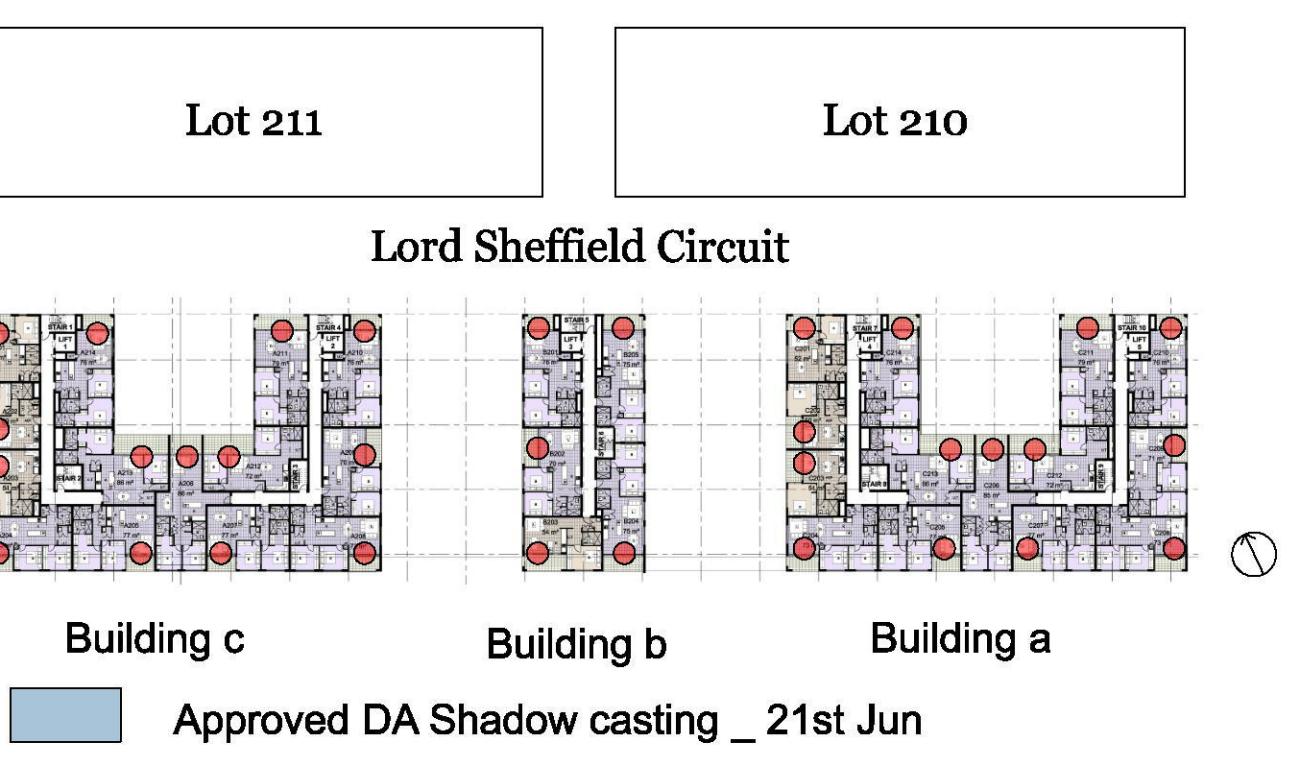
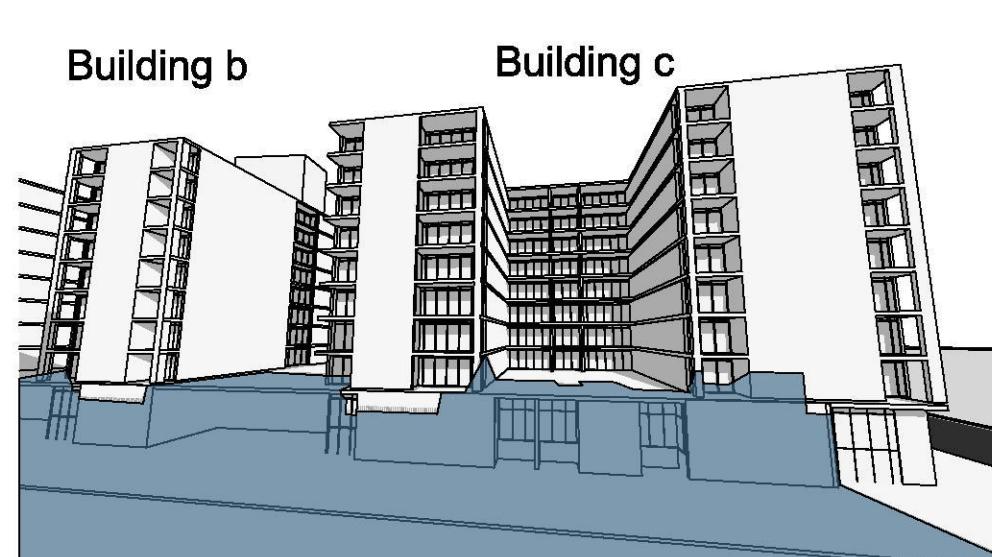
Jun 21st _10.30am



Jun 21st _1pm



Jun 21st _11am



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NSW Registered Architects
Koos de Kijzer 5767
David Randerson 8542

Project Name
Project Number
Project Address
Drawn By
Checked By
Date
Scale

Lord Sheffield Circuit Penrith
12116
Lot 210&211 Lord Sheffield
Circuit
Penrith, NSW 2075

March 2019
1:134995.64, 1:4.84 @ A1

Drawing Series
Drawing Name
Shadow & Solar Analysis
Shadow Diagram _ Proposal

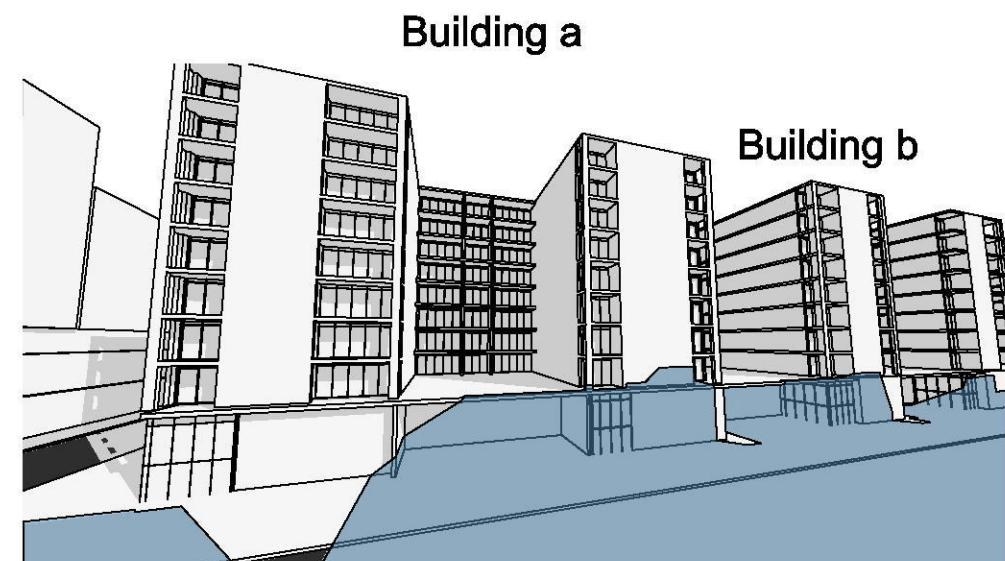
Drawing Number DA506
Revision A

DKO

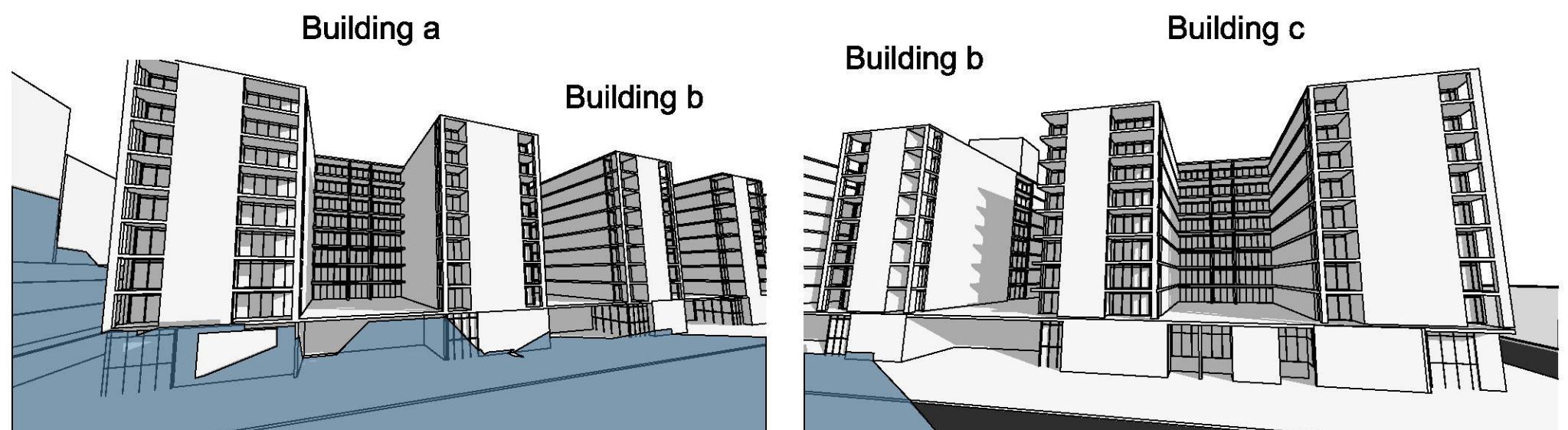
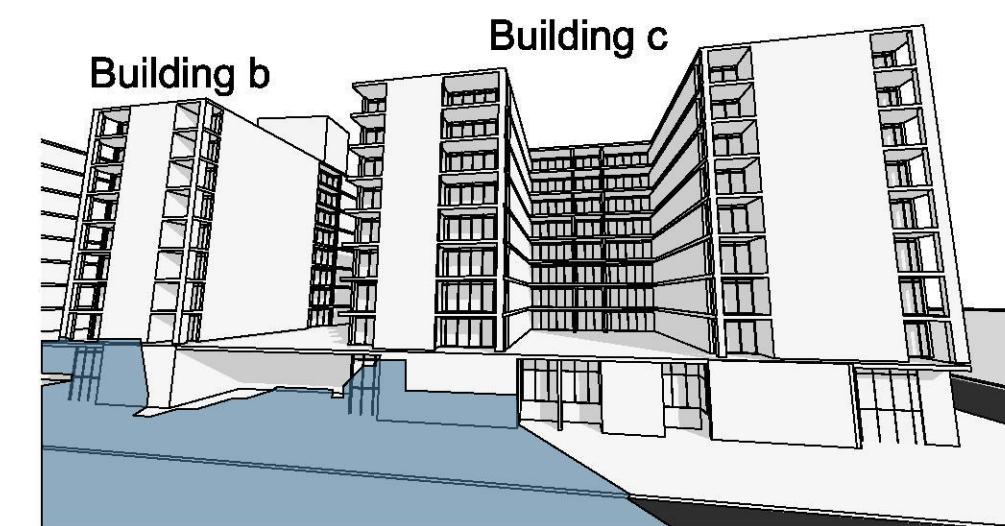
Proposal

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Contractor shall be responsible to return of inspected shop
drawings by the Architect/Consultant.

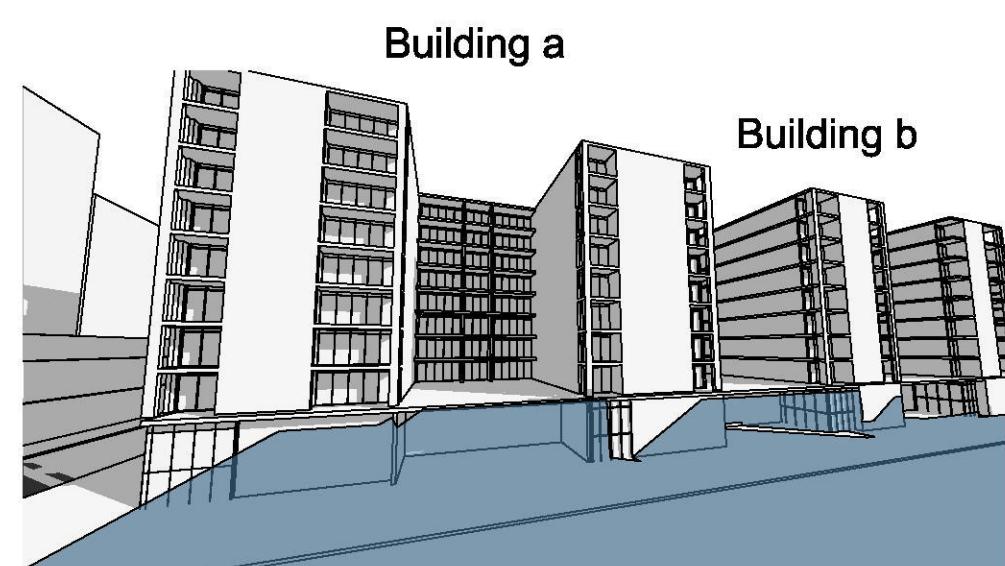


Jun 21st _ 1.15pm

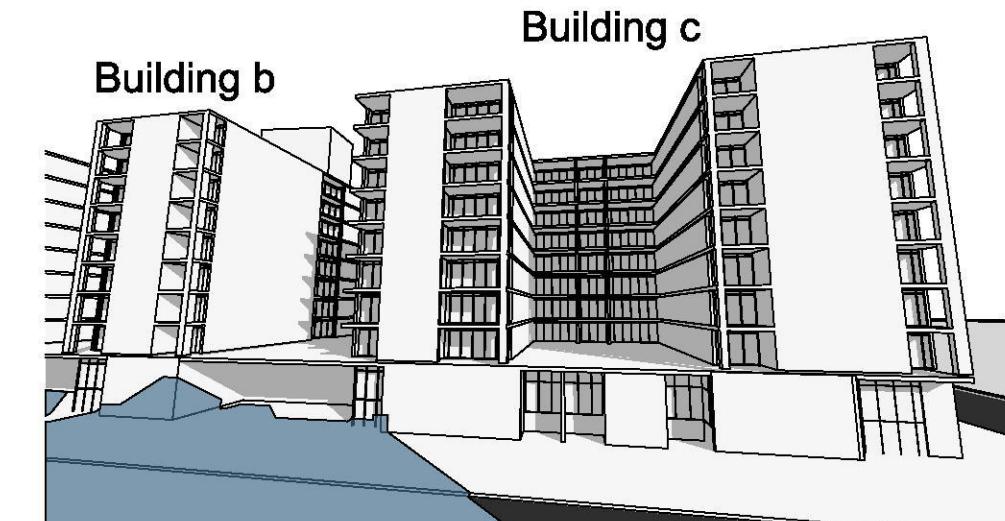


Jun 21st _ 3pm

Rev. A Date 05/06/19 By Mj Ckd SO Description Issue for Substitution



Jun 21st _ 2pm



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Patrick Elias

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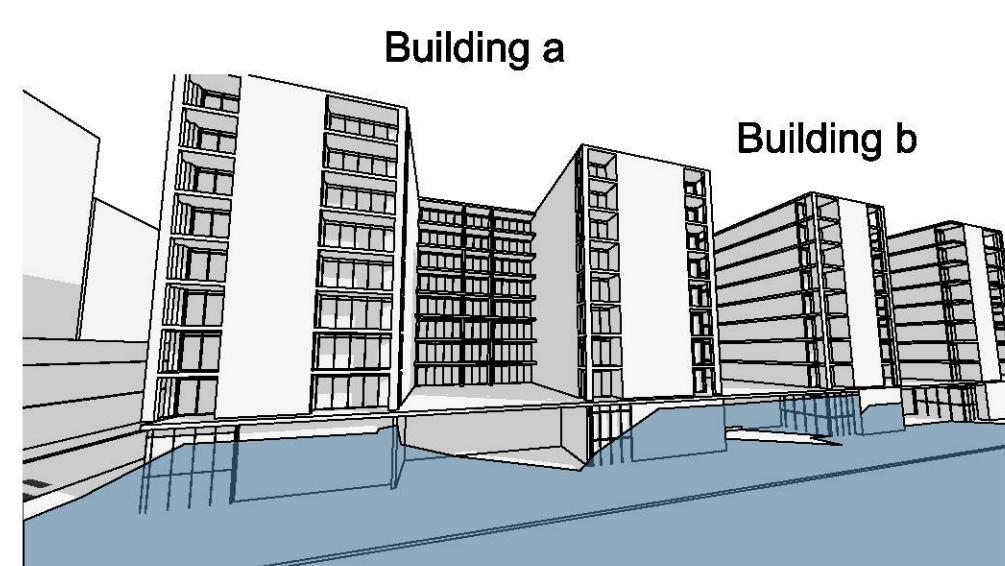
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jason@innovaservices.com.au

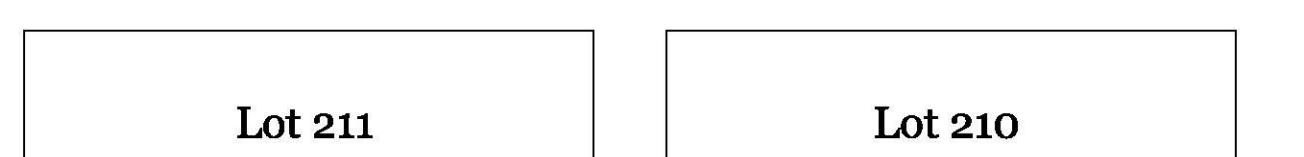
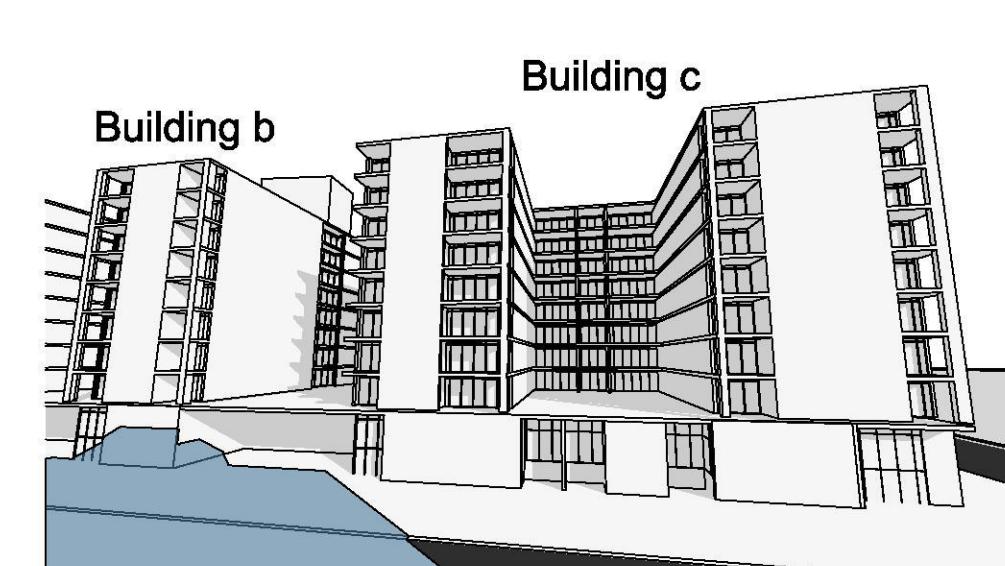
Structure - Ace
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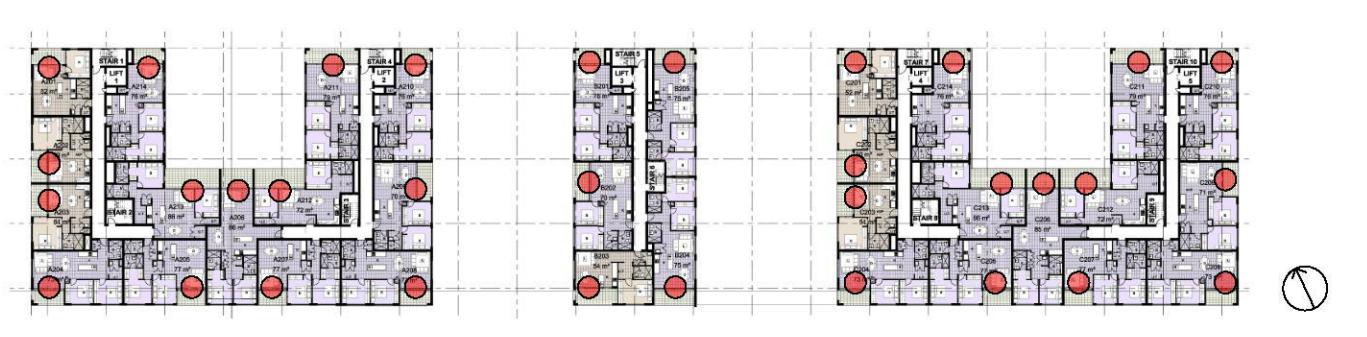
Jun 21st _ 2.15pm



Lot 211

Lot 210

Lord Sheffield Circuit



Building c Building b Building a

Approved DA Shadow casting _ 21st Jun

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Project Name
Project Number
Project Address
Drawn By
Checked By
Date
Scale

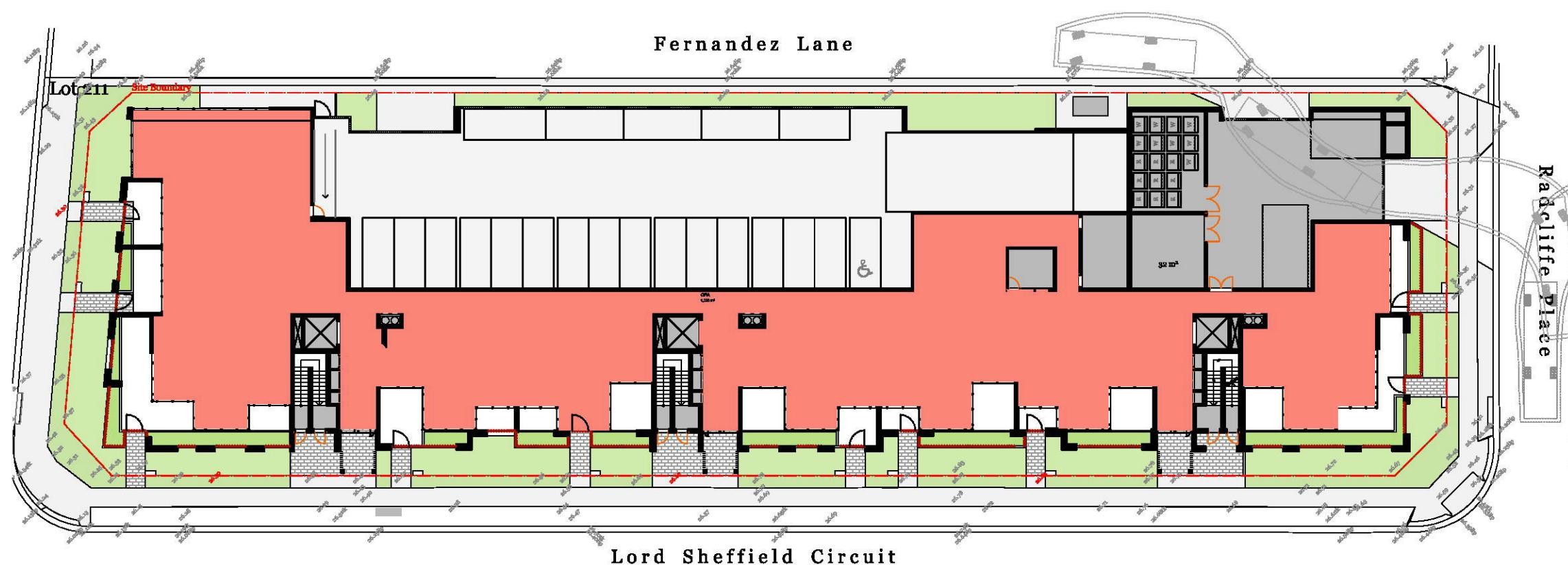
Lord Sheffield Circuit Penrith
12116
Lot 210&211 Lord Sheffield
Circuit
Penrith, NSW 2075

March 2019
1:484, 1:134995.64 @ A1

Drawing Series
Drawing Name
Drawing Number DA507
Revision A

N
○

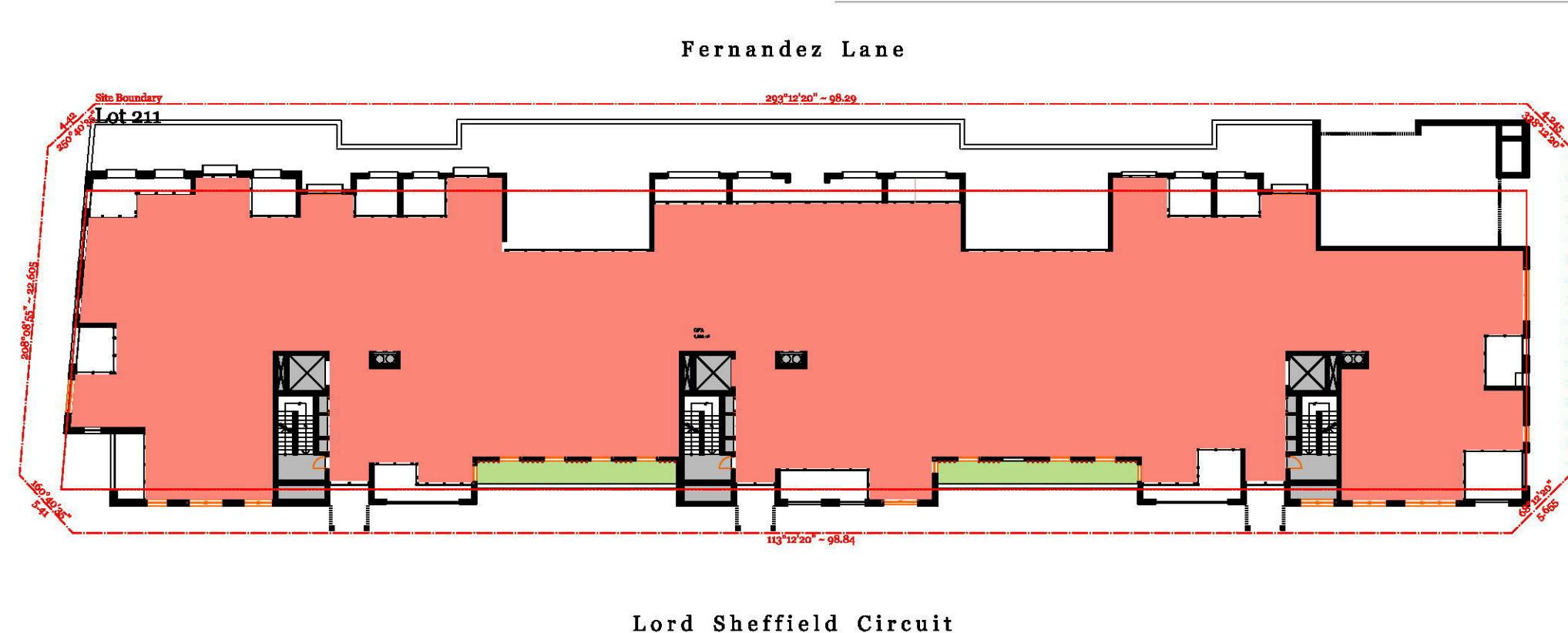
Shadow & Solar Analysis
Shadow Diagram _ Proposal



Ground Floor

1:400

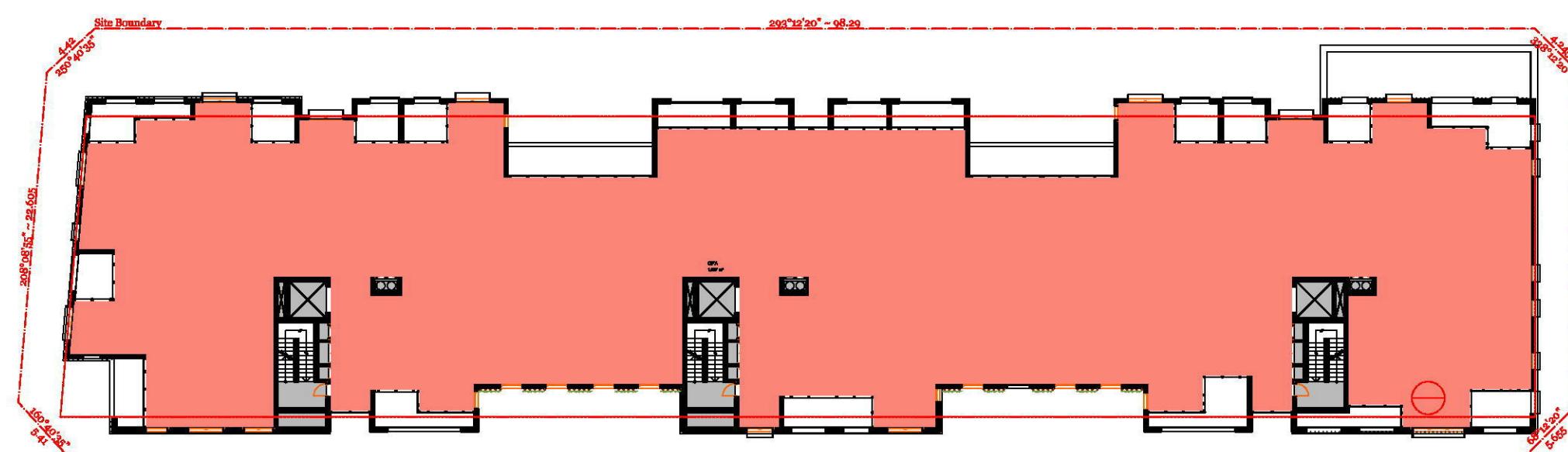
Ground Floor GFA : 1036 sqm



Level 1

1:400

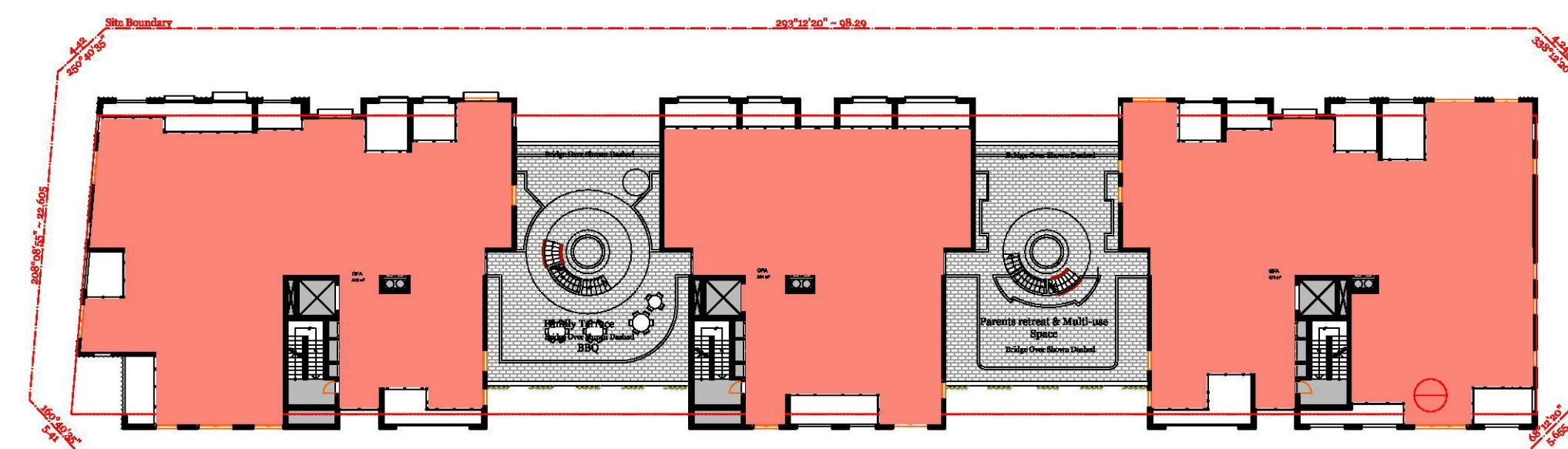
Level one GFA : 1580 sqm



Level 2-6

1:400

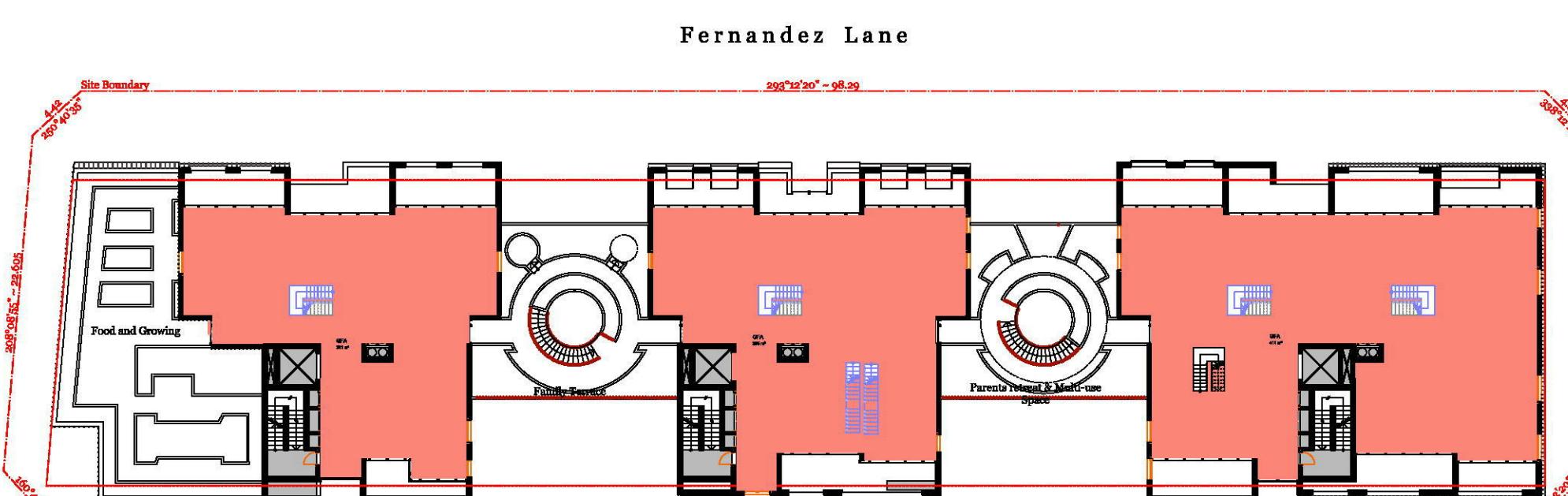
Level 2-6 GFA : 1637 sqm



Level 7

1:400

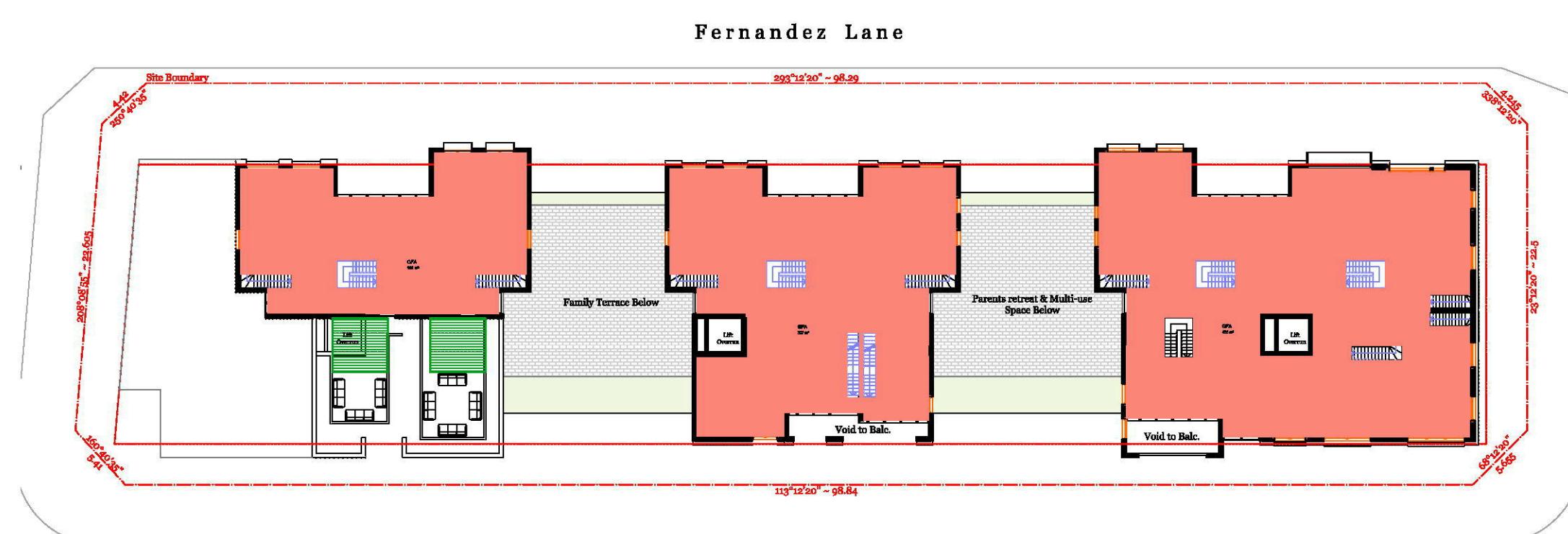
Level 7 GFA : 1271 sqm



Level 8

1:400

Level 8 GFA : 957 sqm



Mezzanine

1:400

Mezz Level GFA : 959 sqm

GFA

Ground Floor GFA : 1021 sqm
Level 1 GFA : 1592 sqm
Level 2-6 GFA : 1649 sqm *5
Level 7 GFA : 1272 sqm
Level 8 GFA : 957 sqm
Mezz level GFA : 963 sqm
Total GFA : 14050 sqm

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Patrick Elias

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Project Name
Project Number
Project Address
Drawn By
Checked By
Date
Scale

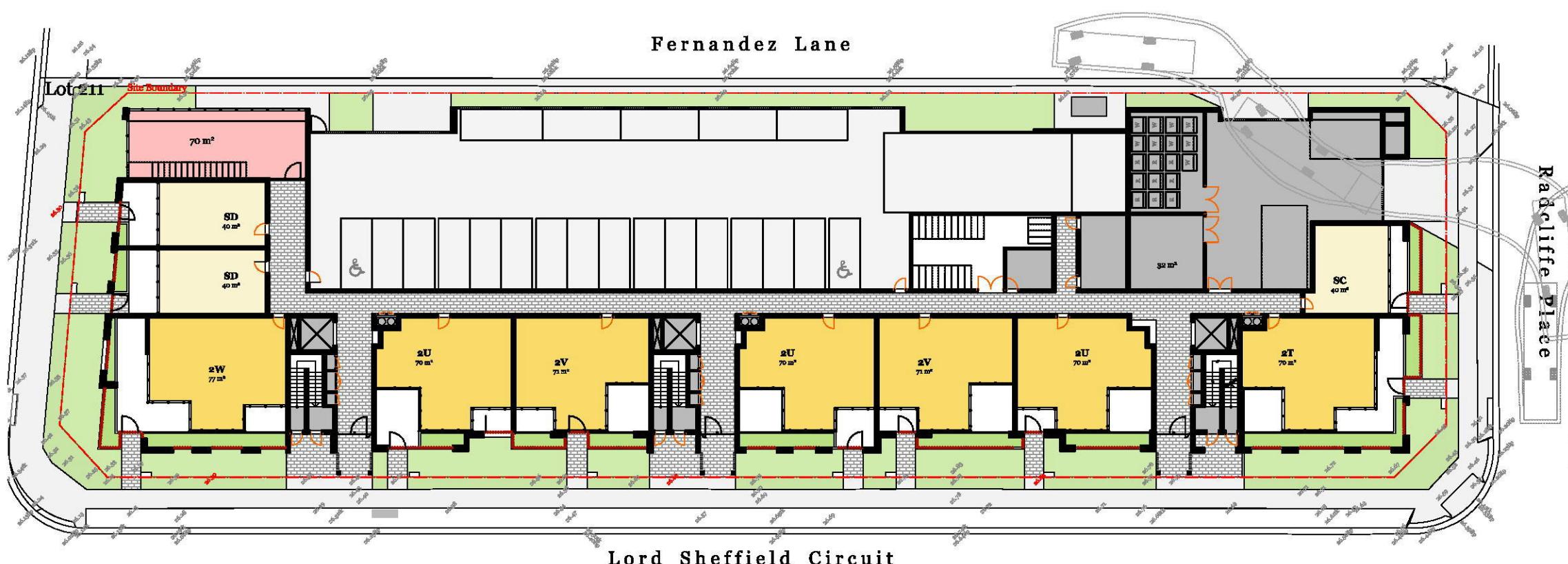
Lord Sheffield Circuit Penrith
12116
Lot 210 & 211 Lord Sheffield
Circuit
Penrith, NSW 2075

March 2019
1:400 @ A1

Drawing Series
Drawing Name

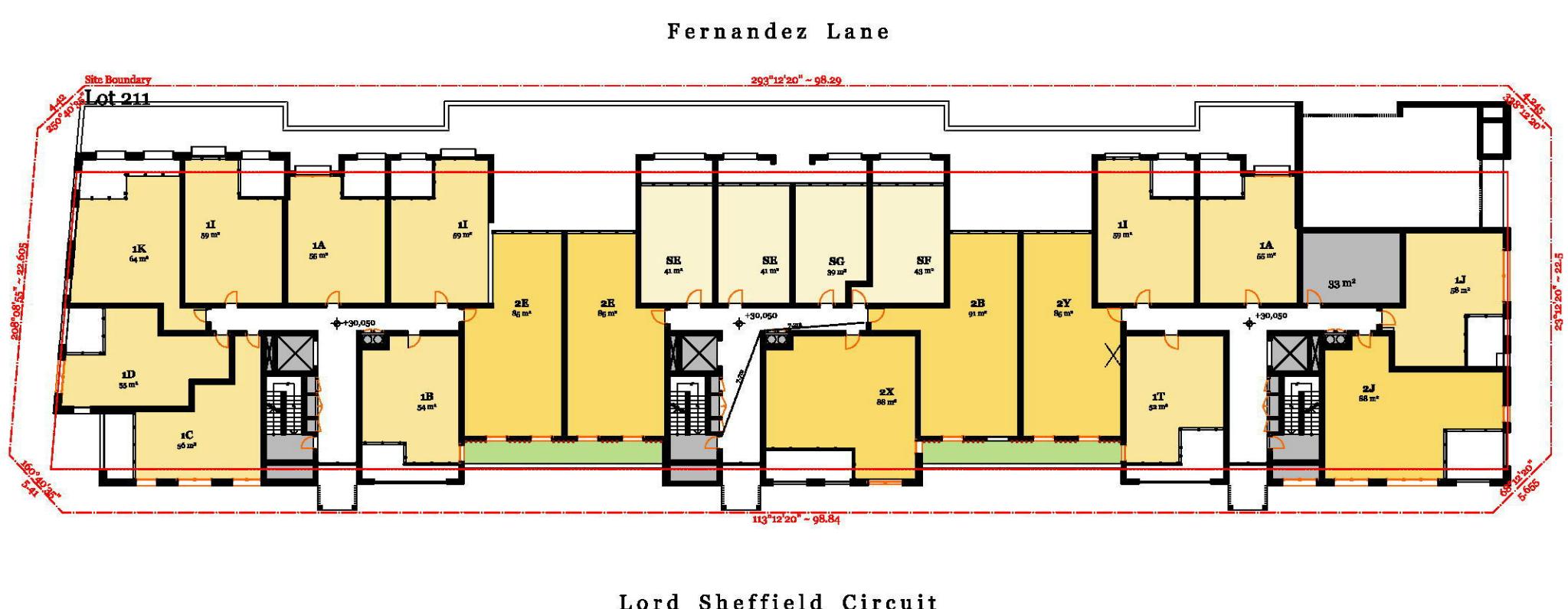
Calculations
GFA Calculation - Lot 211

Drawing Number DA602
Revision A



Ground Floor

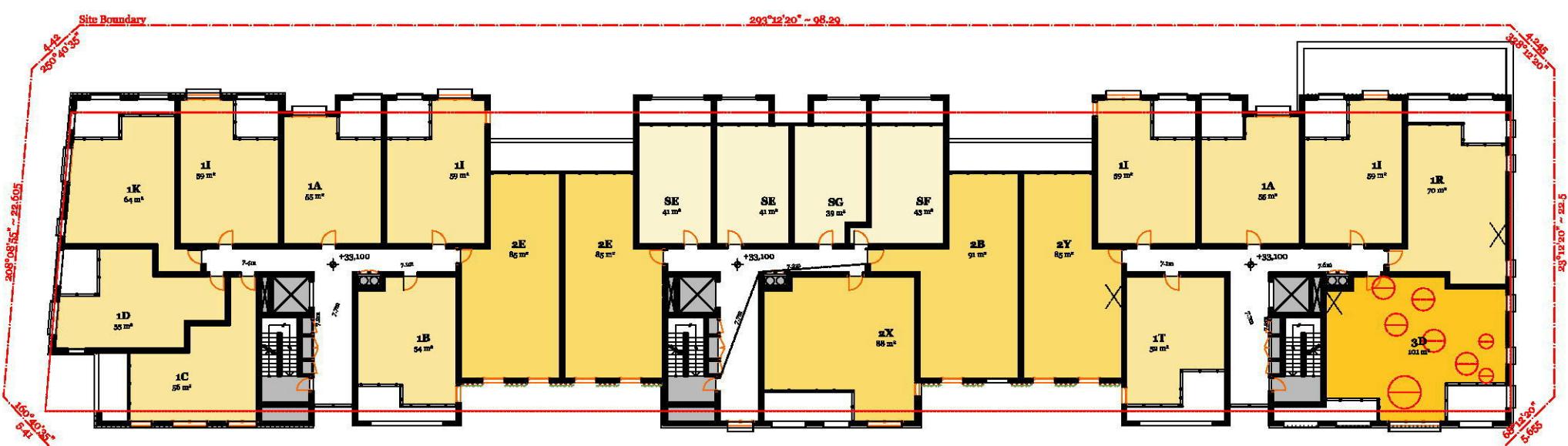
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Level 1

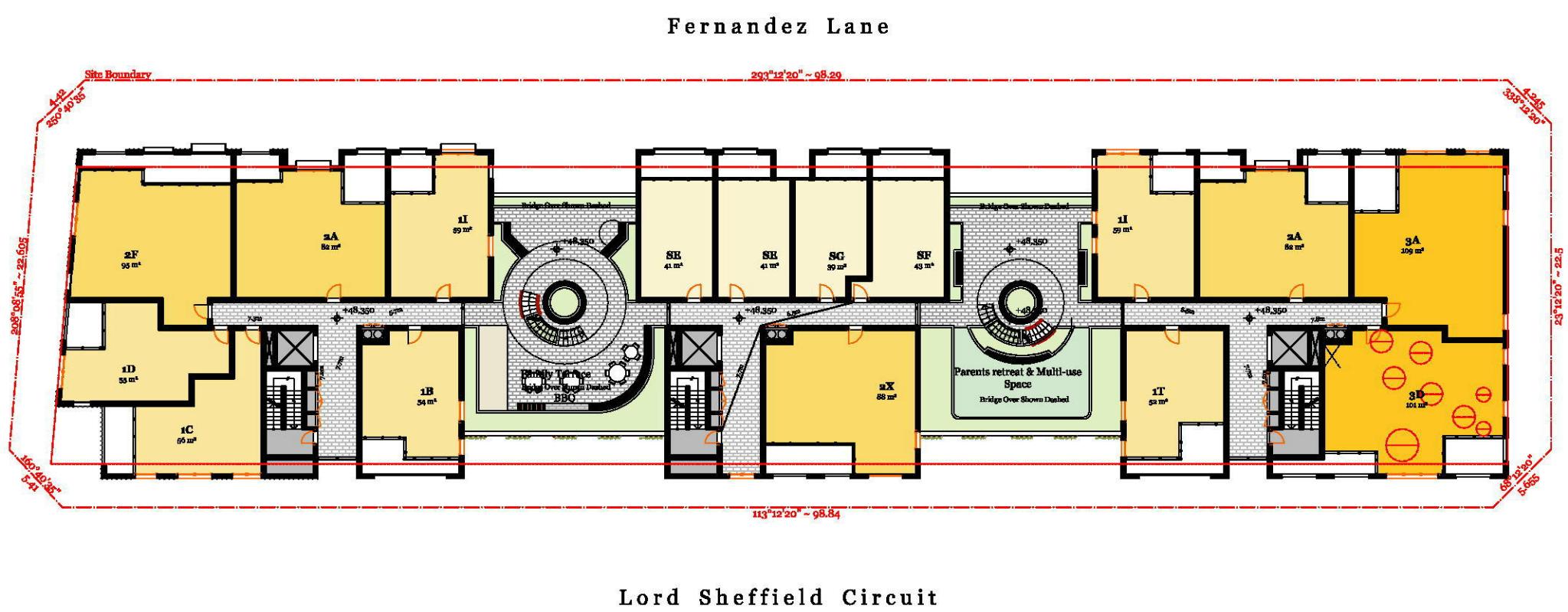
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Rev. A Date 05/04/19 By Mj Ckd SO Description Issue for Substitution



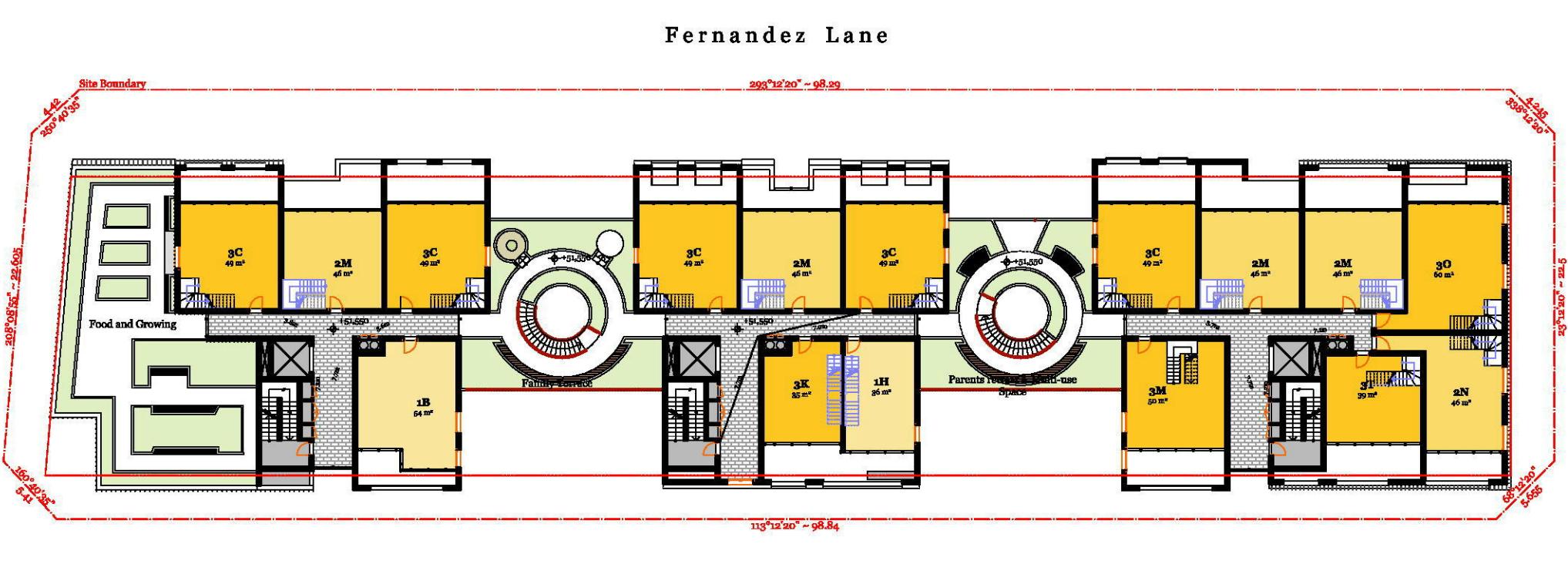
Level 2-6

1:400



Level 7

1:400



Level 8

1:400

UNIT MIX

STUDIO	31/173=18%
1 BEDROOM	79/173=46%
2 BEDROOM	47/173=27%
3 BEDROOM	16/173=9%

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Patrick Elias

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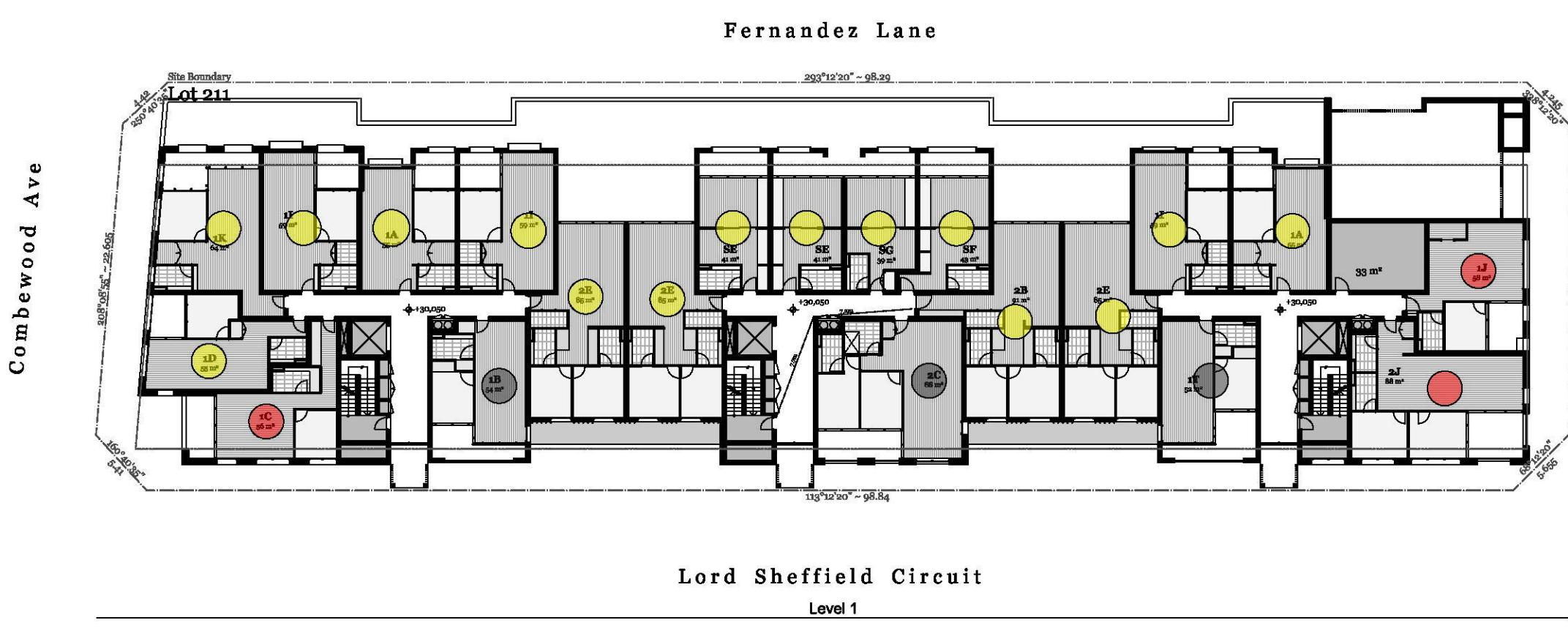
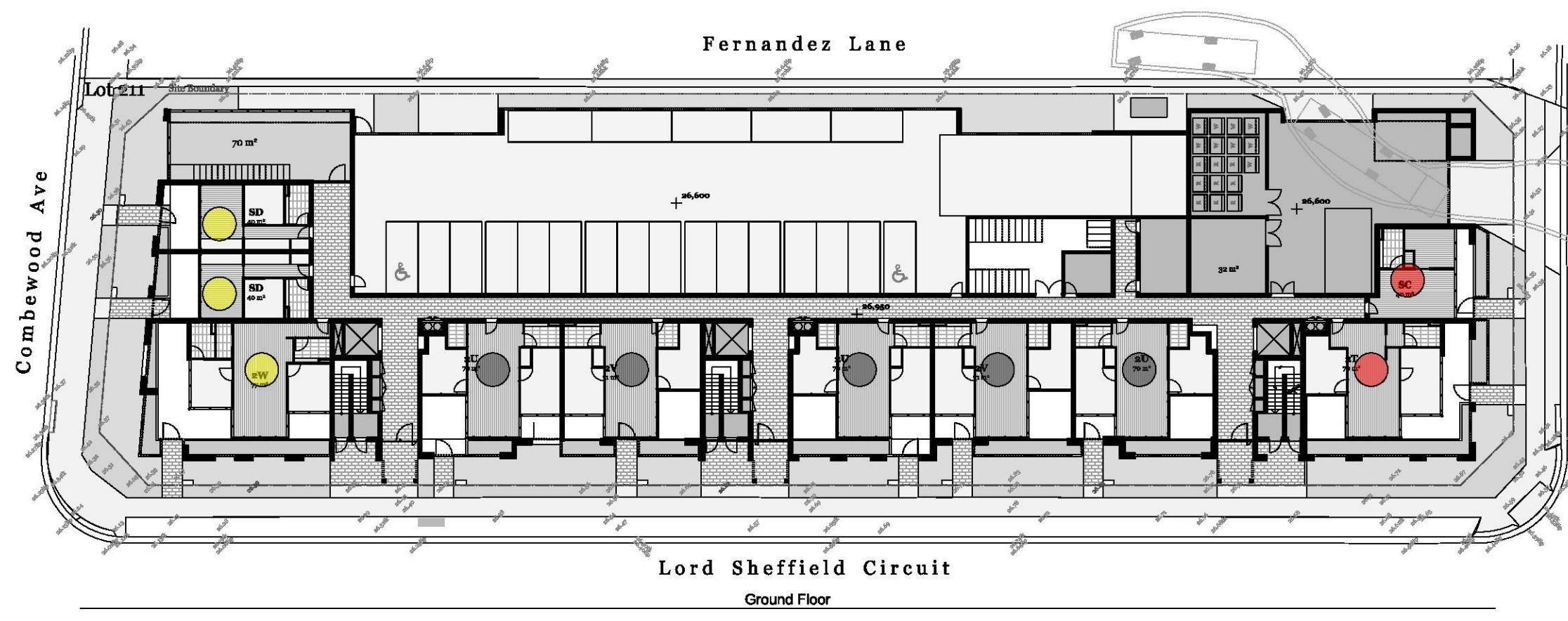
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ABN: 81956706590
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Project Name
Project Number
Project Address
Drawn By
Checked By
Date
Scale

Lord Sheffield Circuit Penrith
12116
Lot 210 & 211 Lord Sheffield
Circuit
Penrith, NSW 2075
March 2019
1:400 @ A1

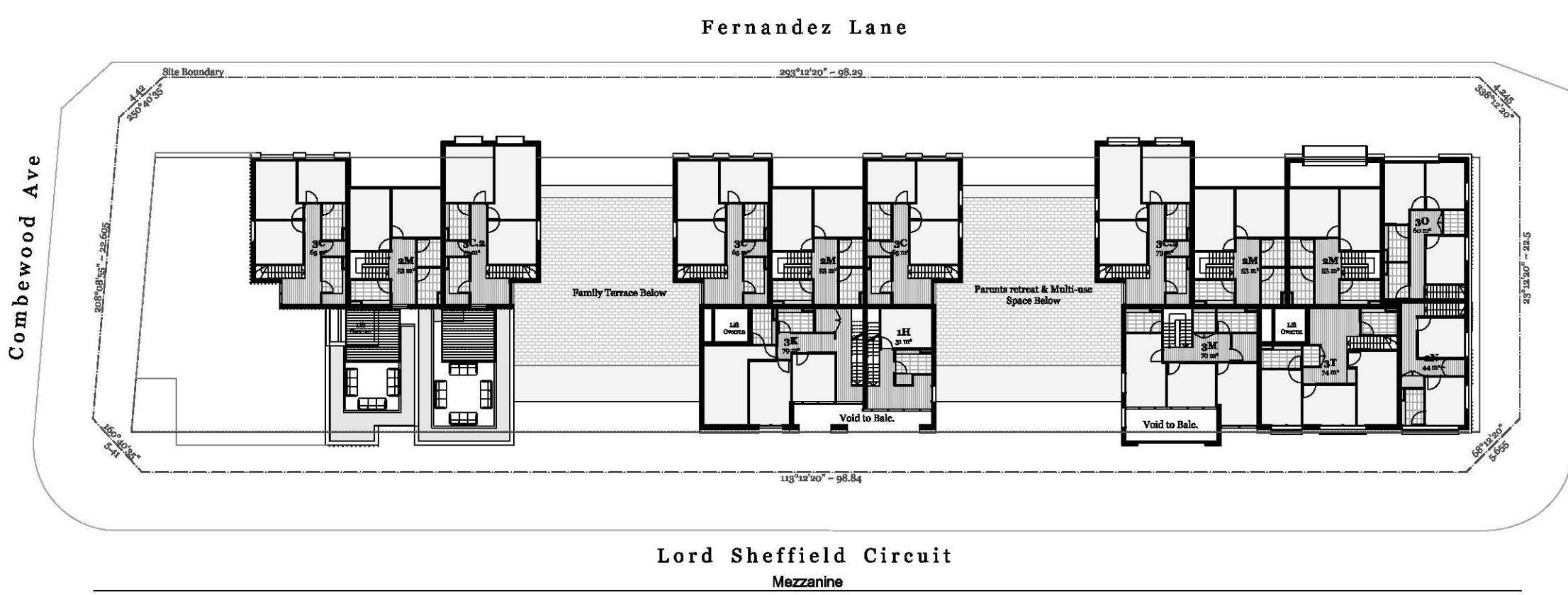
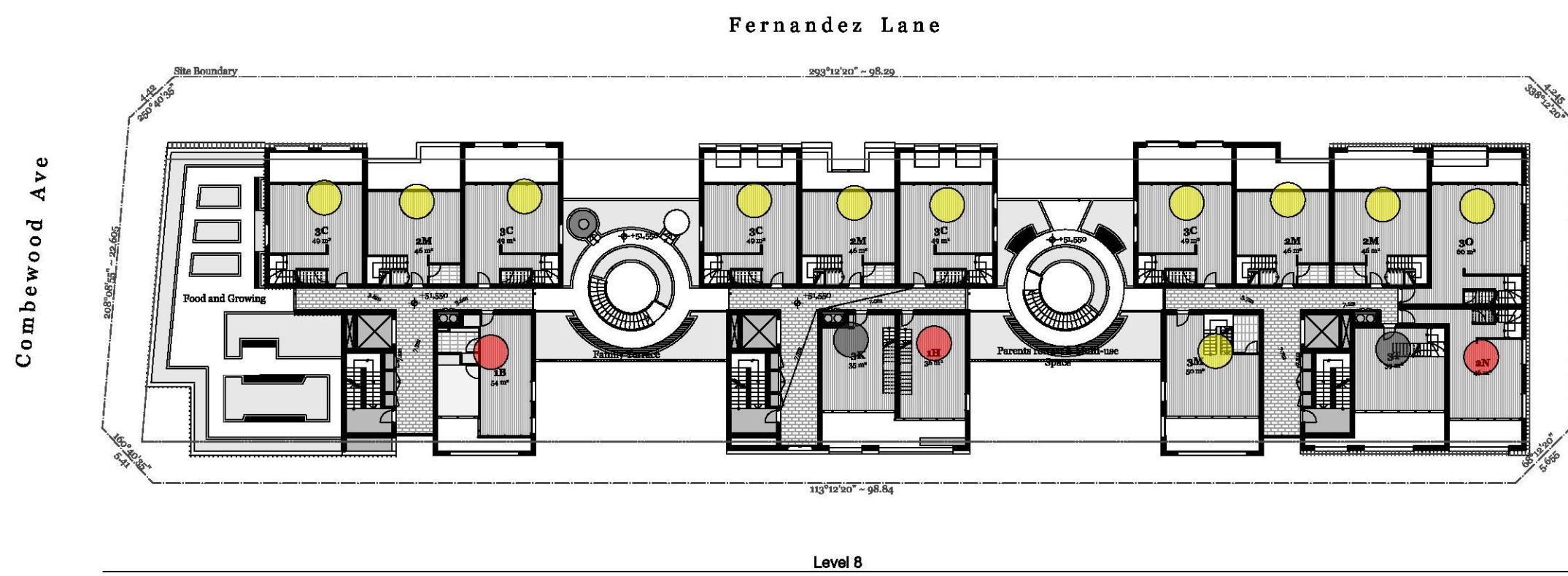
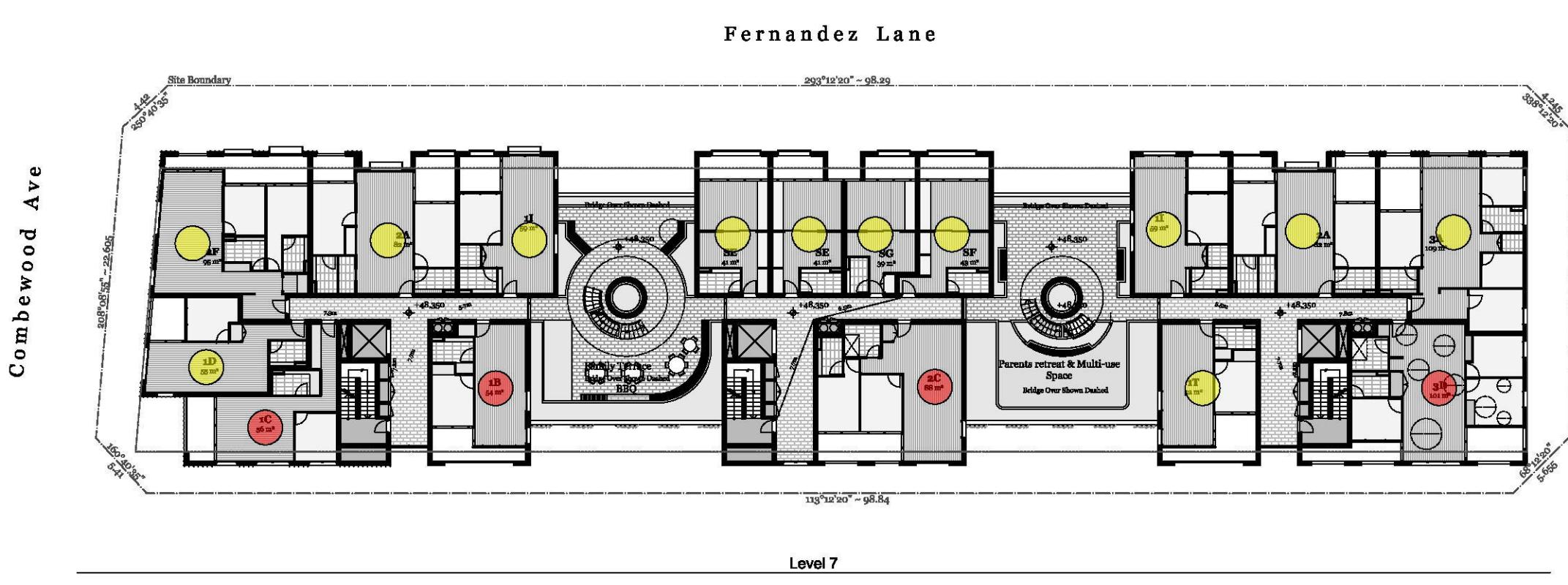
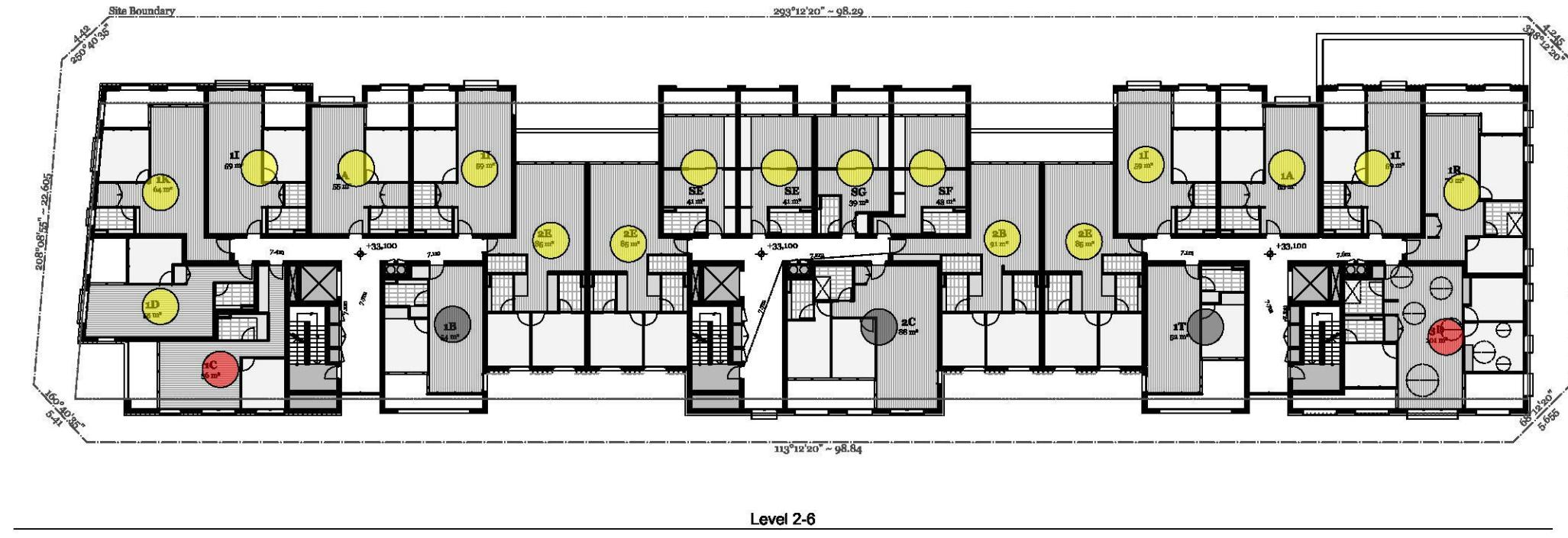
Drawing Series
Drawing Name
Calculations
Apartment Mix - Lot 211

Drawing Number DA603
Revision A



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Yellow circle: 2+ HR SOLAR ACCESS

Red circle: <2 HR SOLAR ACCESS

Grey circle: 0 HR SOLAR ACCESS

SOLAR ACCESS CALCULATION

Ground Floor

Level 01

Level 02-06

Level 07

Level 08

Total

NO SOLAR ACCESS CALCULATION

Ground Floor

Level 01

Level 02-06

Level 07

Level 08

Total

3/10

15/21

(17/22)x5

12/16

11/16

126/173 (73%)

5/11

3/21

(3/22)x5

0/16

2/16

25/173 (14%)

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Patrick Elias

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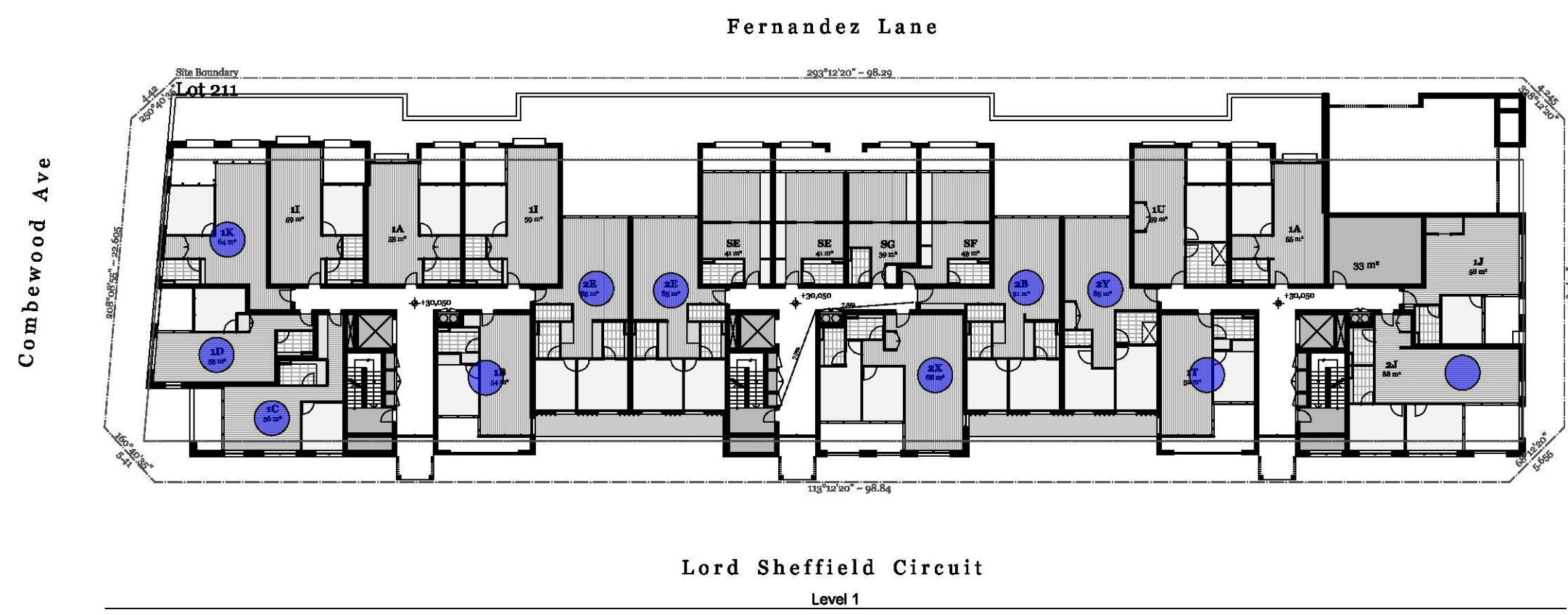
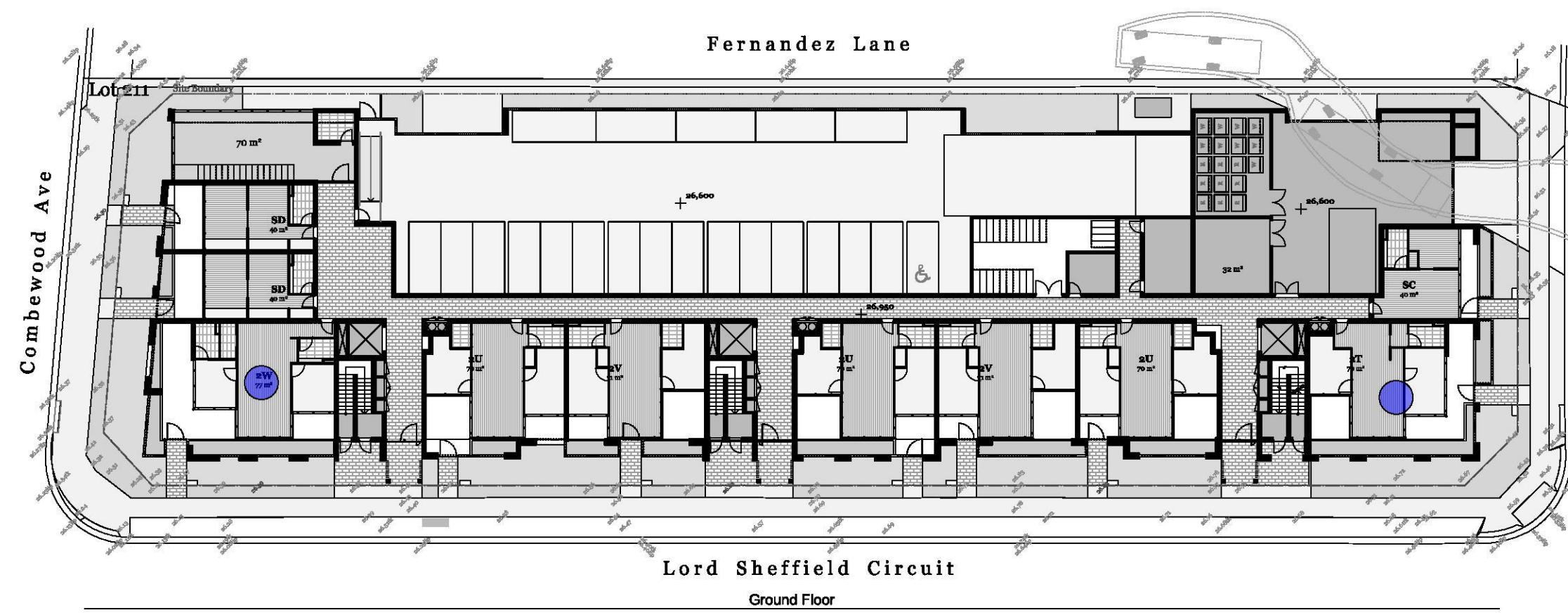
Project Name
Project Number
Project Address
Drawn By
Checked By
Date
Scale

Lord Sheffield Circuit Penrith
12116
Lot 210 & 211 Lord Sheffield
Circuit, Penrith, NSW 2750

March 2019
1:400 @ A1

Drawing Series
Drawing Name
Calculations
Solar Compliance - Lot 211

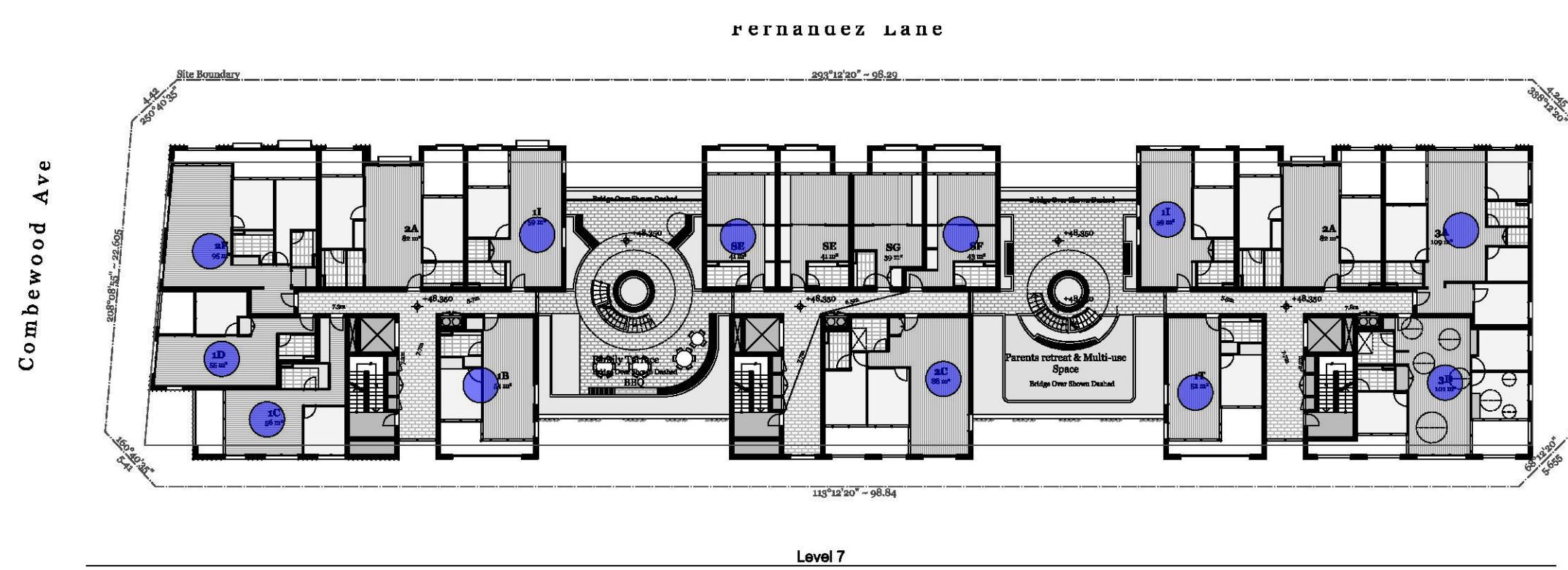
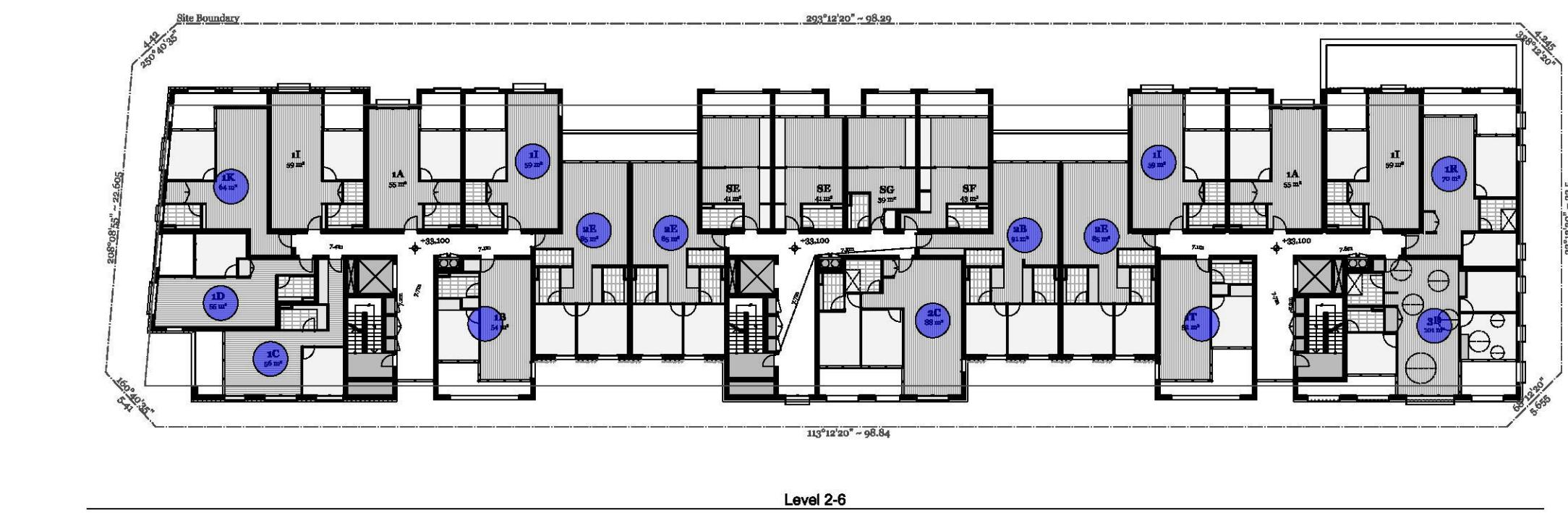
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Revision A



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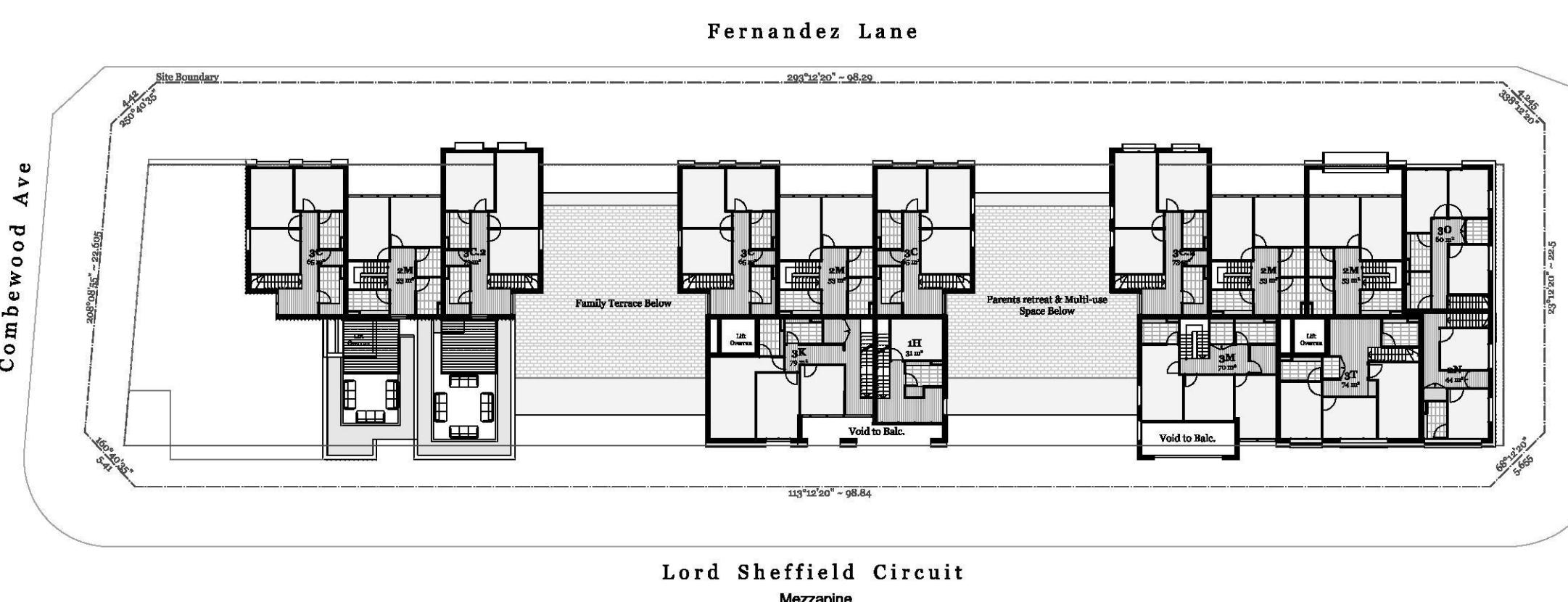
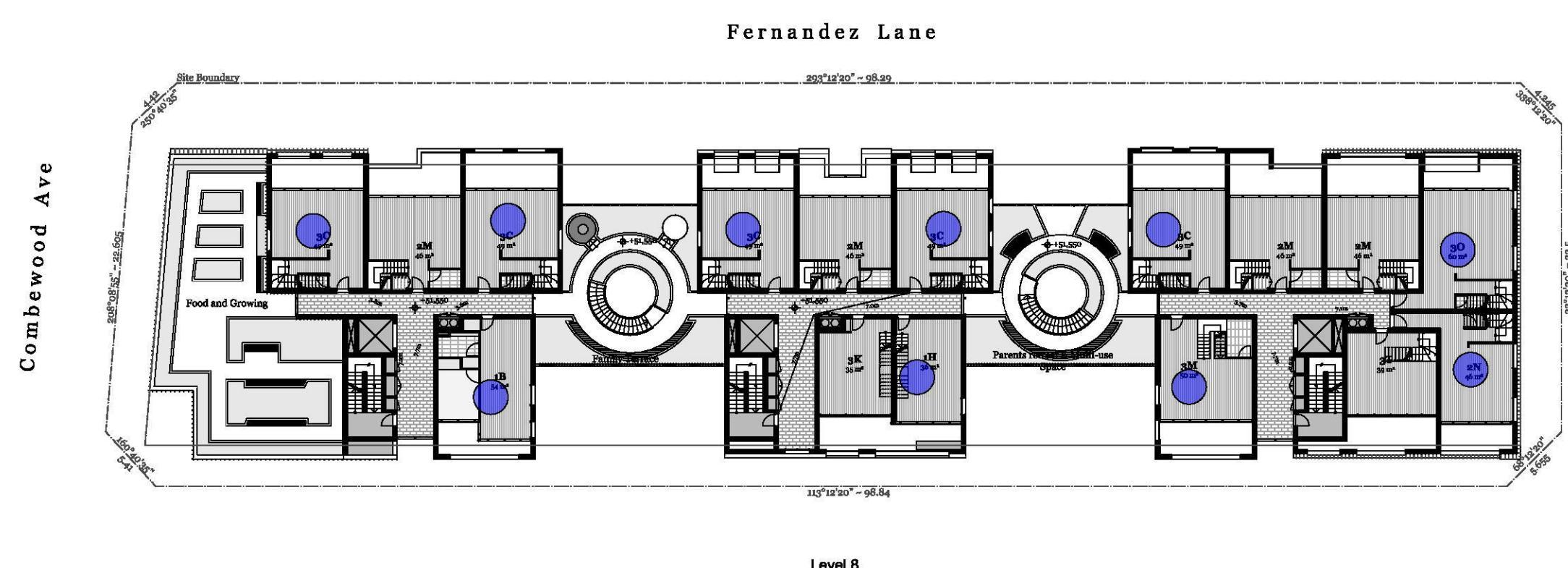
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Rev.	Date	By	Ckd	Description
A	05/04/19	MJ	SO	Issue for Submission



Client Details
Urban Property Group
Patrick Elias

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10 K 0

NATURALLY CROSS-VENTILATED UNITS

CROSS VENTILATION CALCULATION

CROSS VENTILATION CALCULATION	
Ground Floor	2/10
Level 01	11/21
Level 02-06	(14/22)x5
Level 07	12/16
Level 08	10/16

Total

105/173 (61%)

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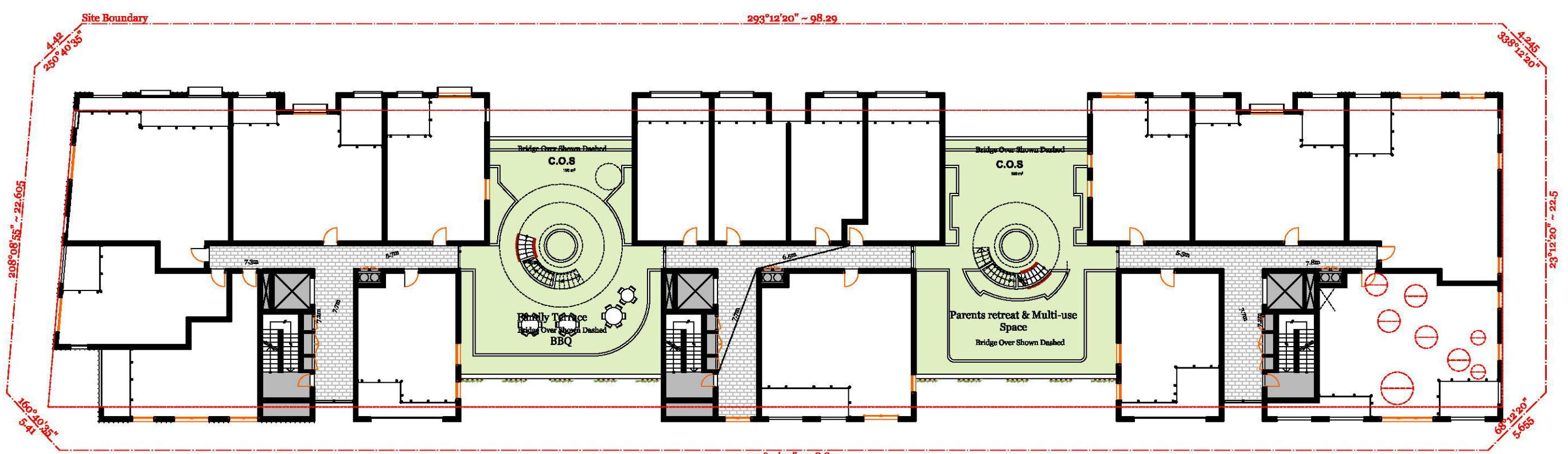
Drawn By _____
Checked By _____
Date March 2019
Scale 1:400 @ A1

**Drawing Series
Drawing Name**

Calculations

Cross ventilation - Lot 211

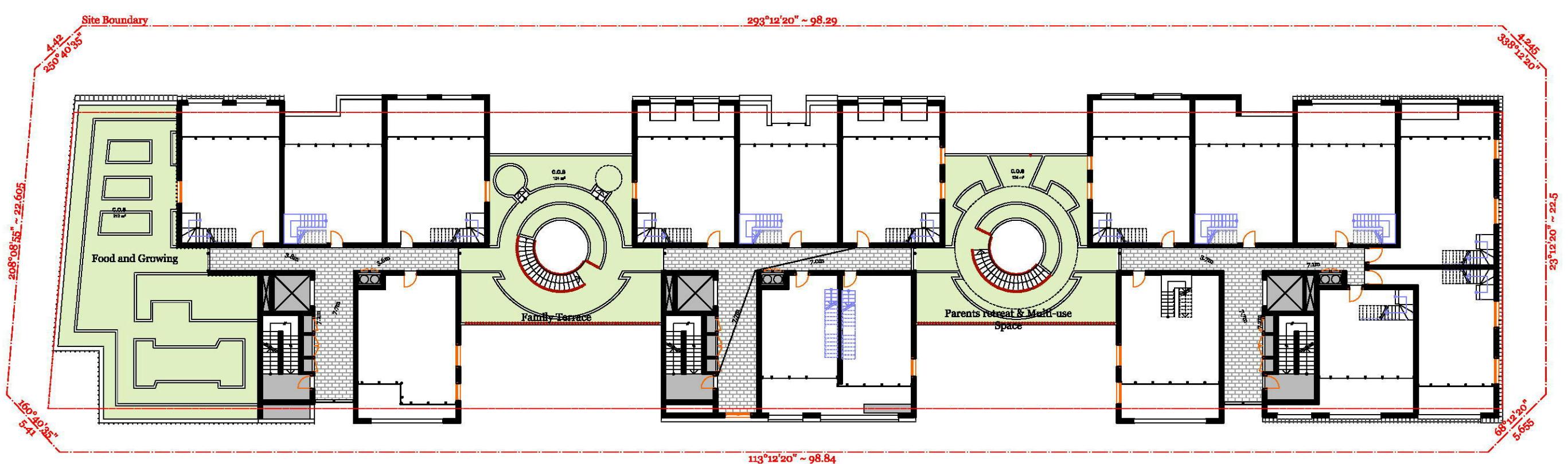
Drawing Number **DA601**
Revision **A**



Radcliffe Place

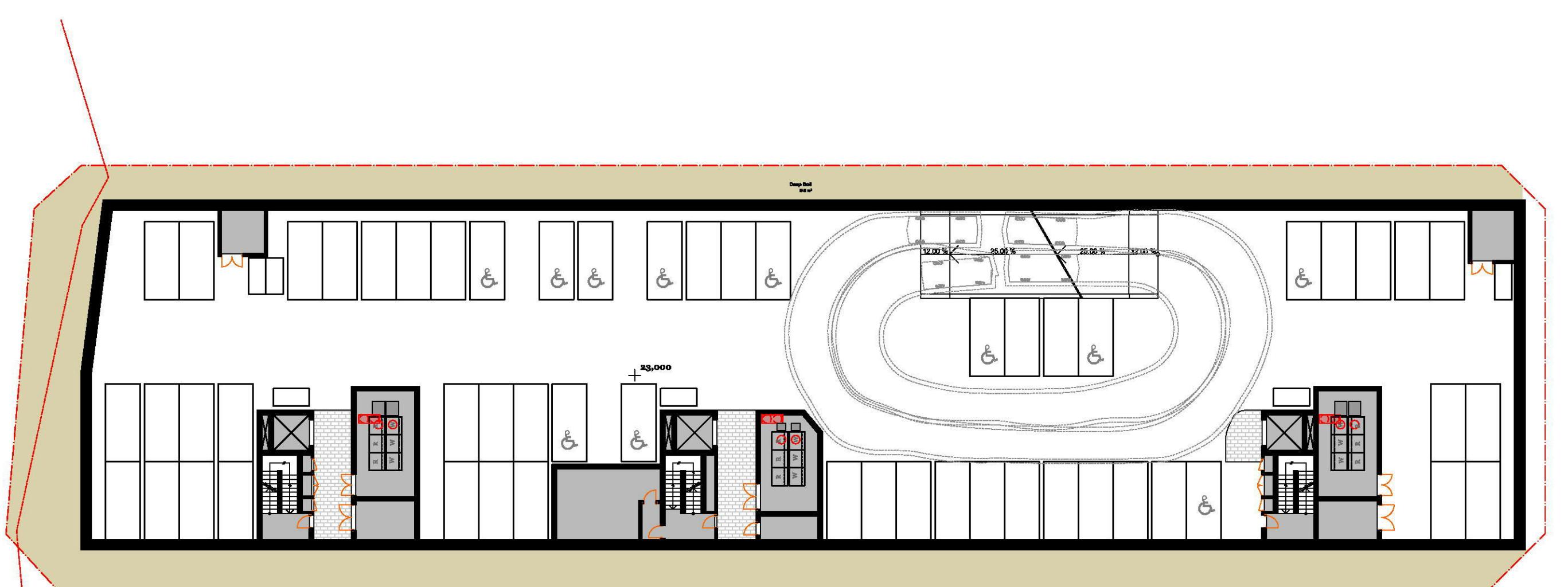
Level 7

Communal Open Space: 392 sqm



Level 8

Communal Open Space: 460 sqm



Basement 01 Floor

Deep Soil

COMMUNAL OPEN SPACE - LOT 211

Level 7: 392 sqm

Level 8: 460 sqm

TOTAL: 852

27.6% of the Site Area

Calculated on Lot 211 Site Area of 3,084m²

DEEP SOIL - LOT 211

Basement Level: 646sqm

TOTAL:

20.9% of the Site Area

Calculated on Lot 211 Site Area of 3,084m²

Rev. A Date 05/04/19 By MJ Ckd SO Description Issue for Substitution

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Urban Property Group
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Project Name
Project Number
Project Address
Drawn By
Checked By
Date
Scale

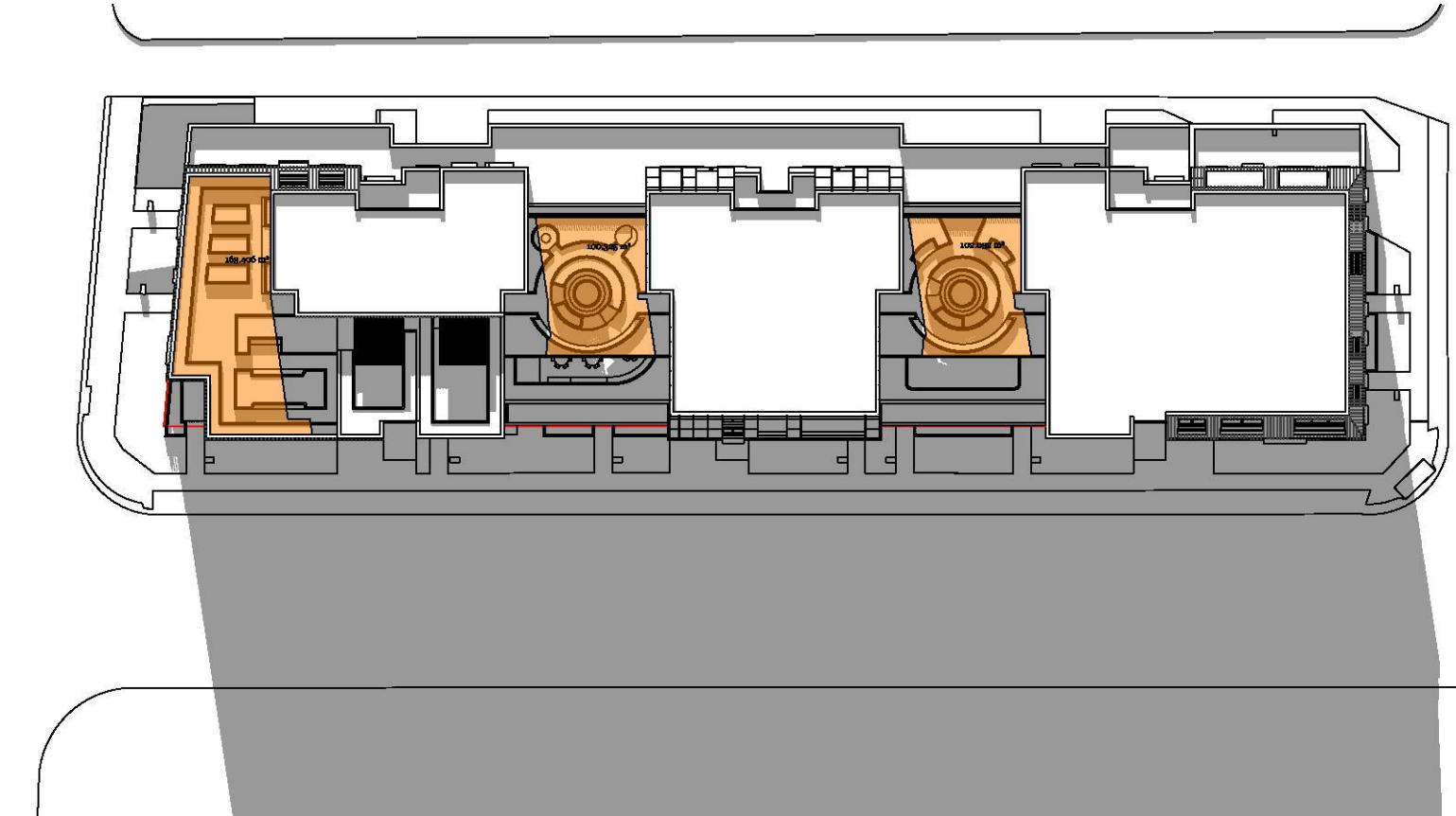
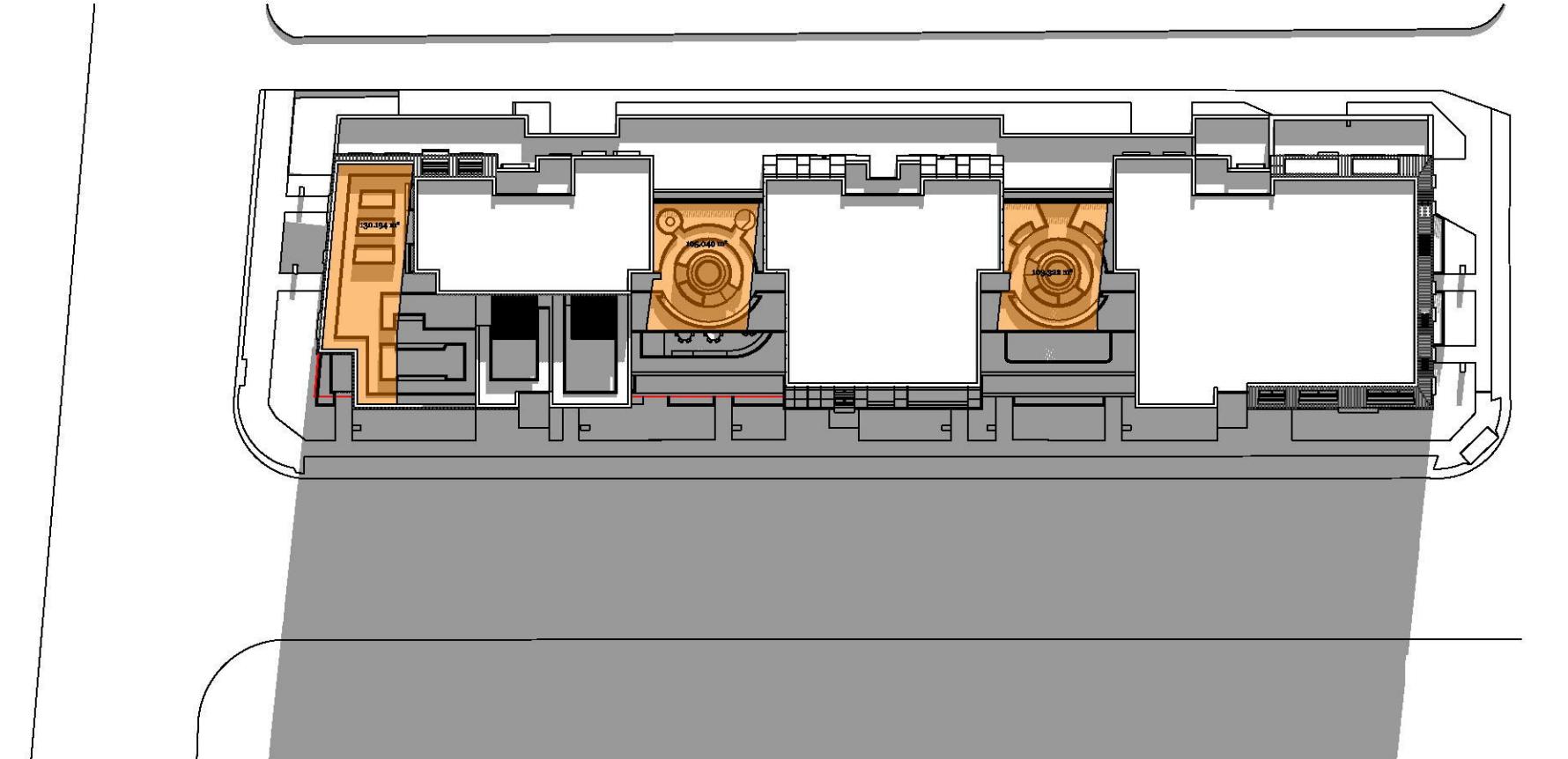
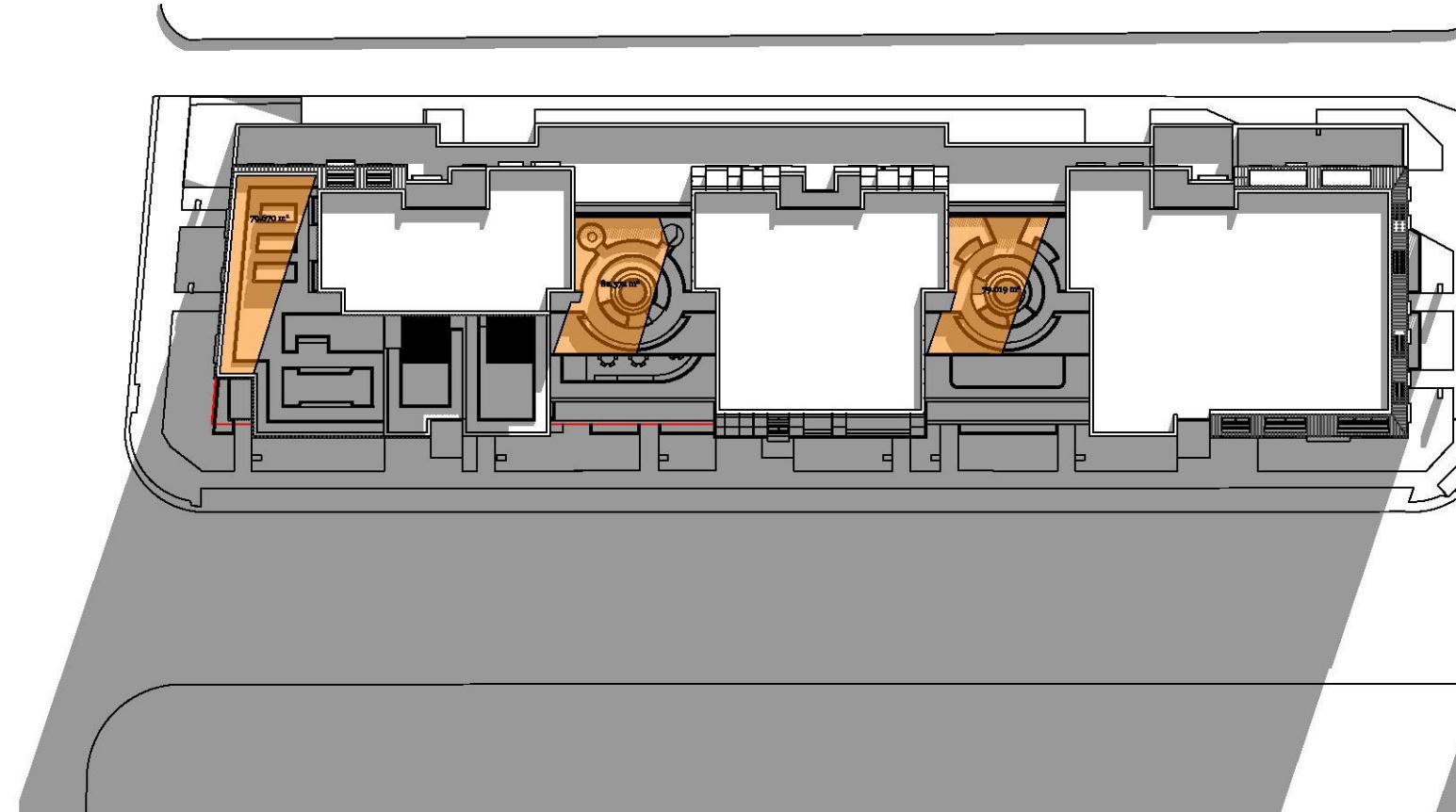
Lord Sheffield Circuit Penrith
12116
Lot 210 & 211 Lord Sheffield
Circuit
Penrith, NSW 2075
March 2019
1:300 @ A1

Drawing Series
Drawing Name
Calculations
C.O.S Calculation - Lot 211

Drawing Number DA606
Revision A

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Builder/Contractor shall verify job dimensions before any job commences
Figured dimensions take precedence over drawings and job dimensions.
All shop drawings shall be submitted to the Architect/Consultant, and
Contractor shall be responsible for return of inspected shop
drawings by the Architect/Consultant.

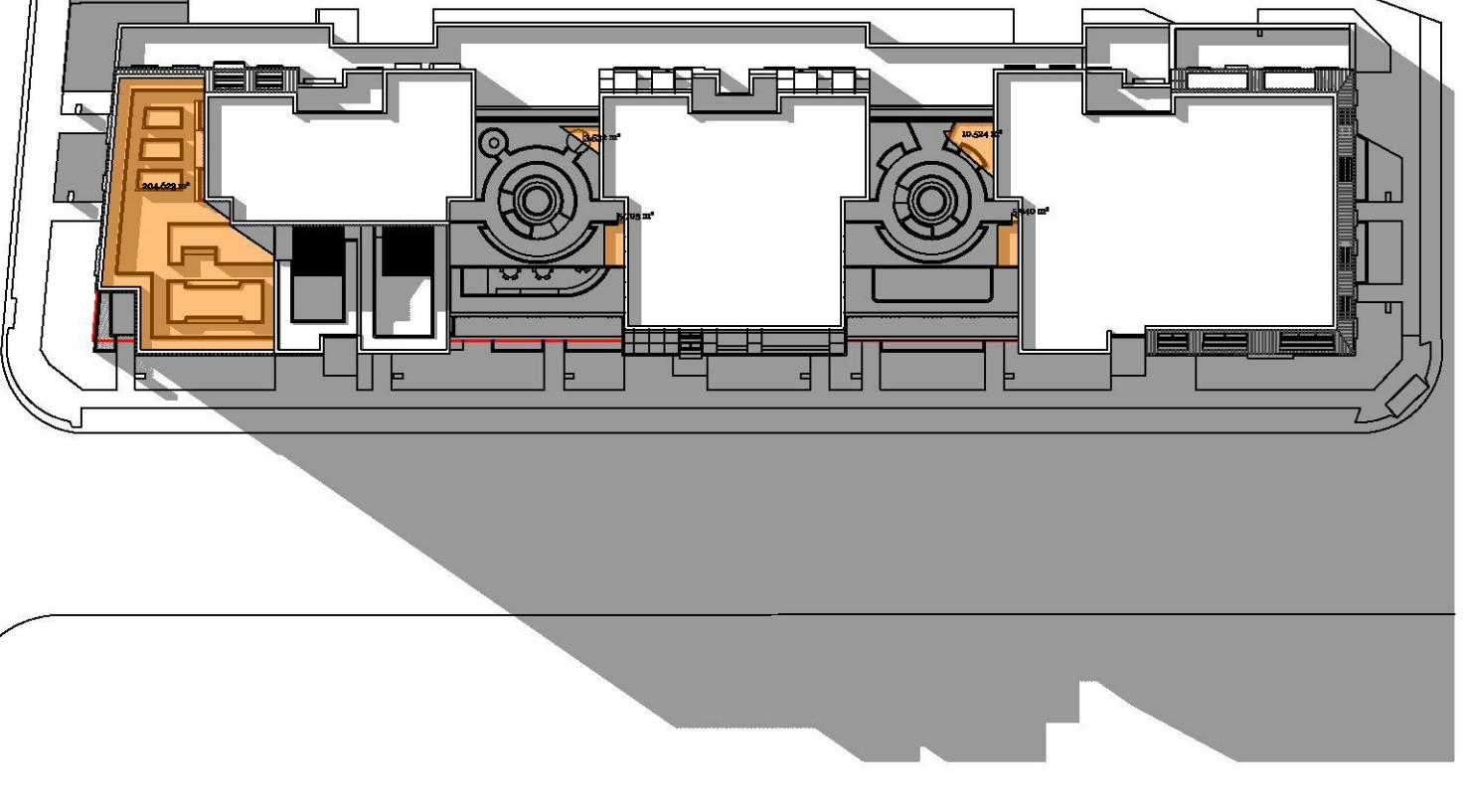
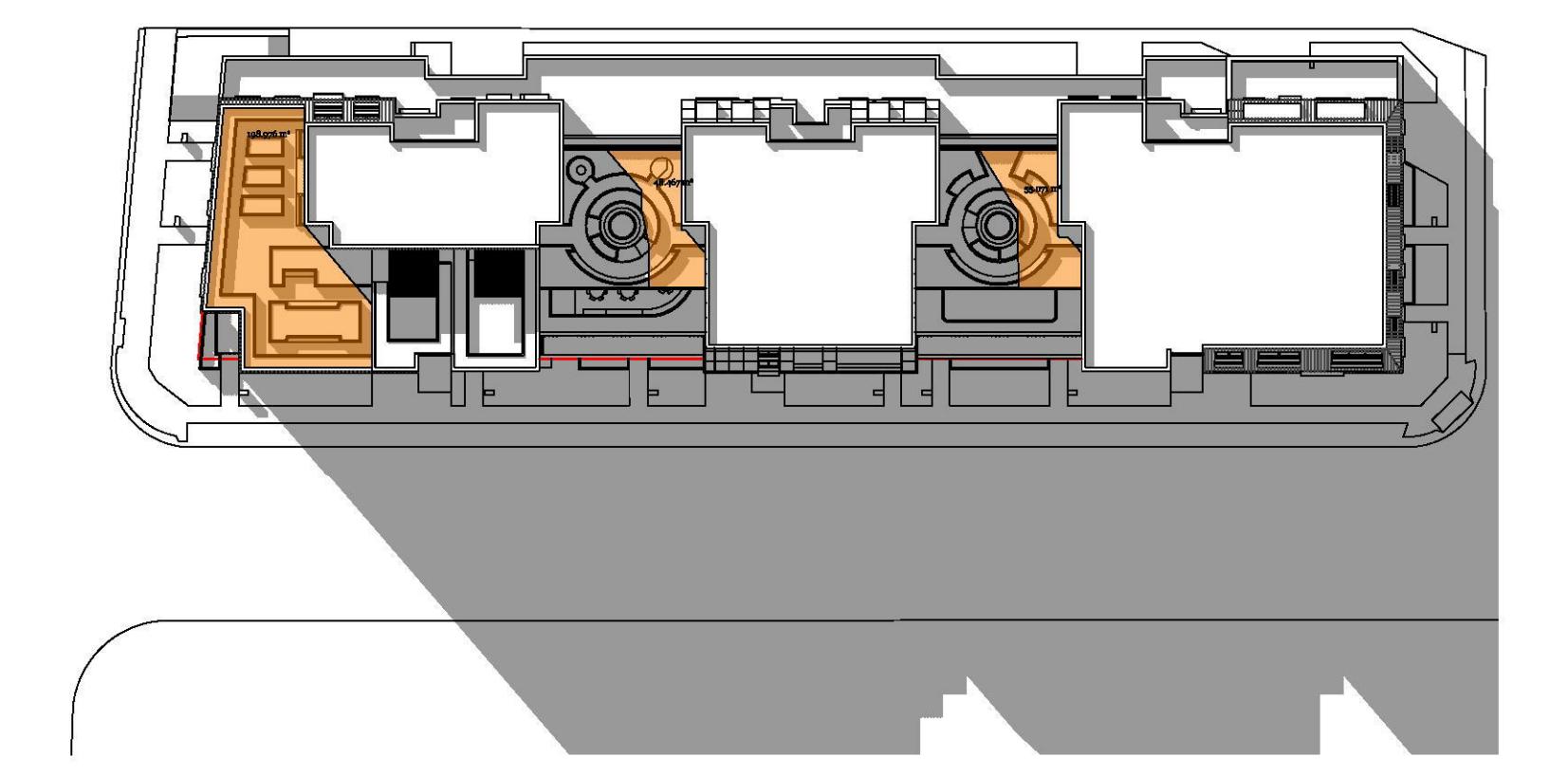
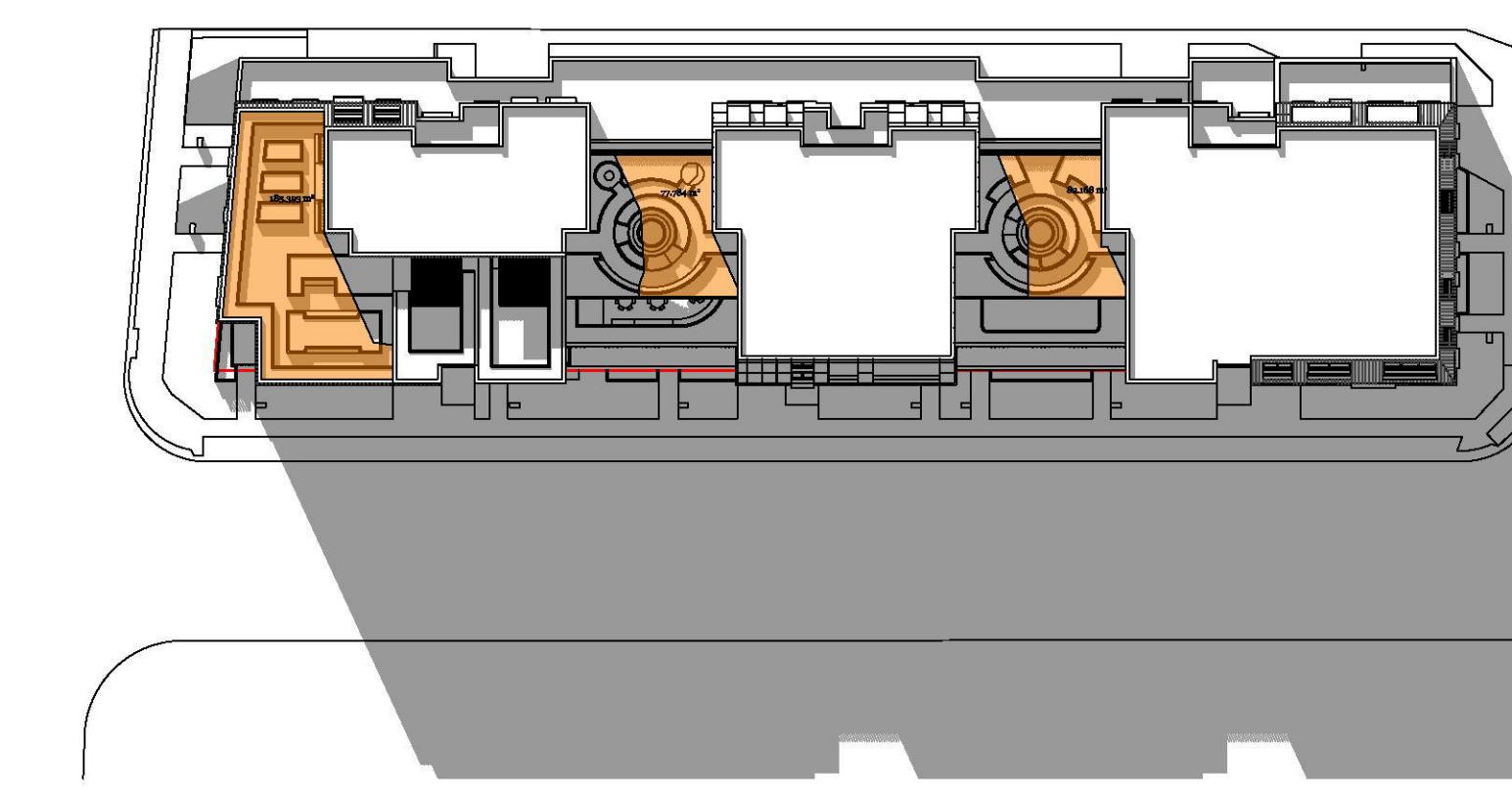


Rev. Date By Ckd Description
A 05/04/19 MJ SO Issue for Substitution

COS 9am _ Lot 211 1:600

COS 10am _ Lot 211 1:600

COS 11am _ Lot 211 1:600



COS 12pm _ Lot 211 1:600

COS 13pm _ Lot 211 1:600

COS 14pm _ Lot 211 1:600

Client Details
Urban Property Group
Patrick Elias

URBAN

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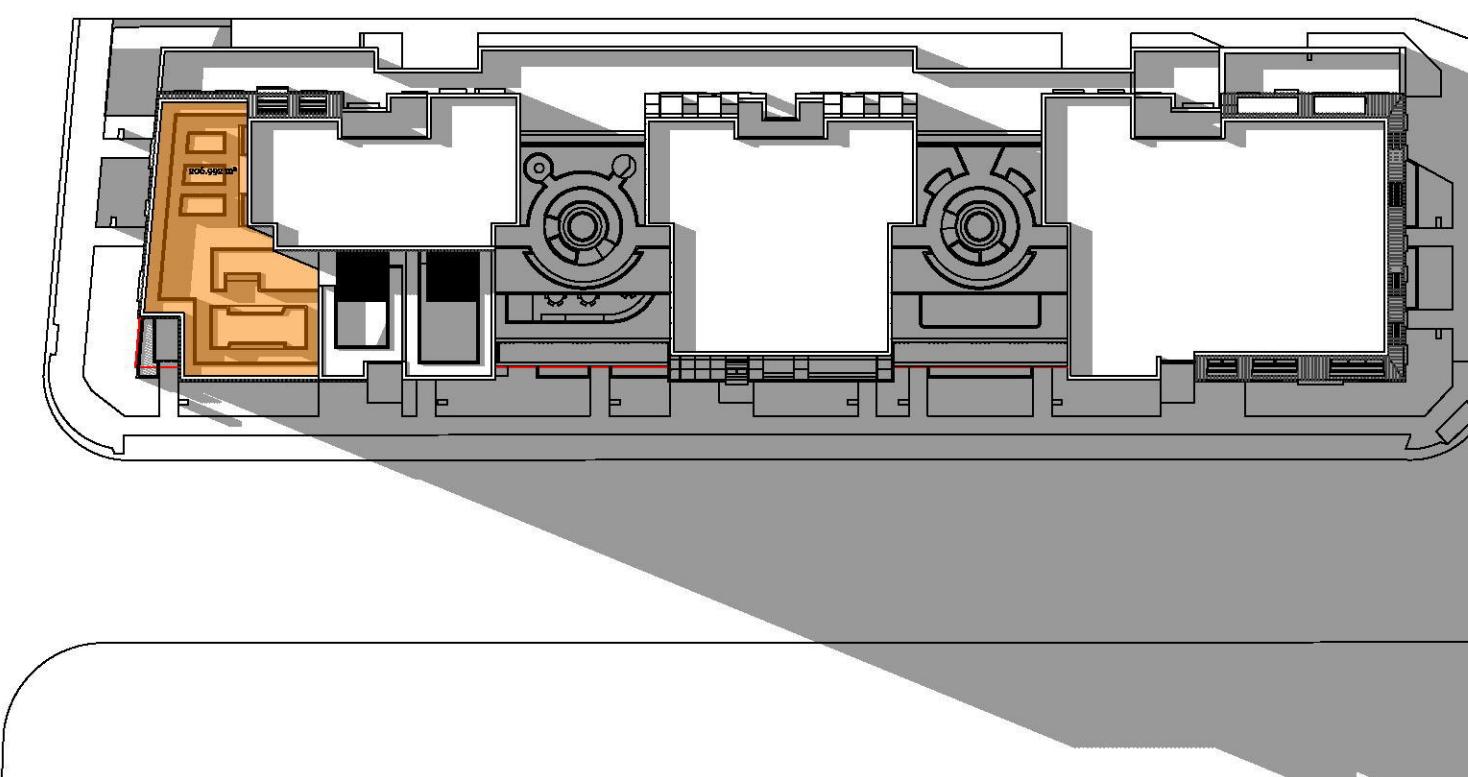
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Private Certifier - CBS
Steven Saad
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Scott Collis
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 Communal Open Space that receives sunlight on 21 June



COS 15pm _ Lot 211 1:600

Principal Communal Open Space Area
that receives sublight at 9am on 21 June: $241/460 \text{ sqm}=52.3\%$

Principal Communal Open Space Area
that receives sublight at 10am on 21 June: $338/460 \text{ sqm}=73.4\%$

Principal Communal Open Space Area
that receives sublight at 11am on 21 June: $366/470 \text{ sqm}=77.8\%$

Principal Communal Open Space Area
that receives sublight at 12pm on 21 June: $345/460 \text{ sqm}=75\%$

Principal Communal Open Space Area
that receives sublight at 13pm on 21 June: $303/460 \text{ sqm}=65.8\%$

Principal Communal Open Space Area
that receives sublight at 14pm on 21 June: $232/460 \text{ sqm}=50.4\%$

Principal Communal Open Space Area
that receives sublight at 15pm on 21 June: $207/488 \text{ sqm}=42.4\%$

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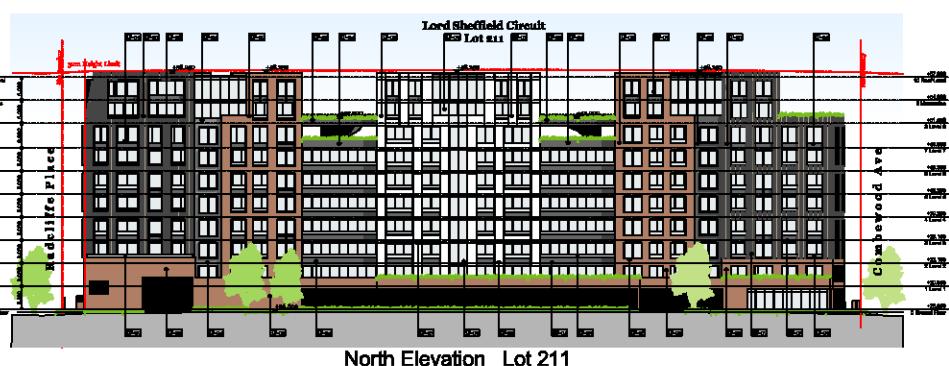
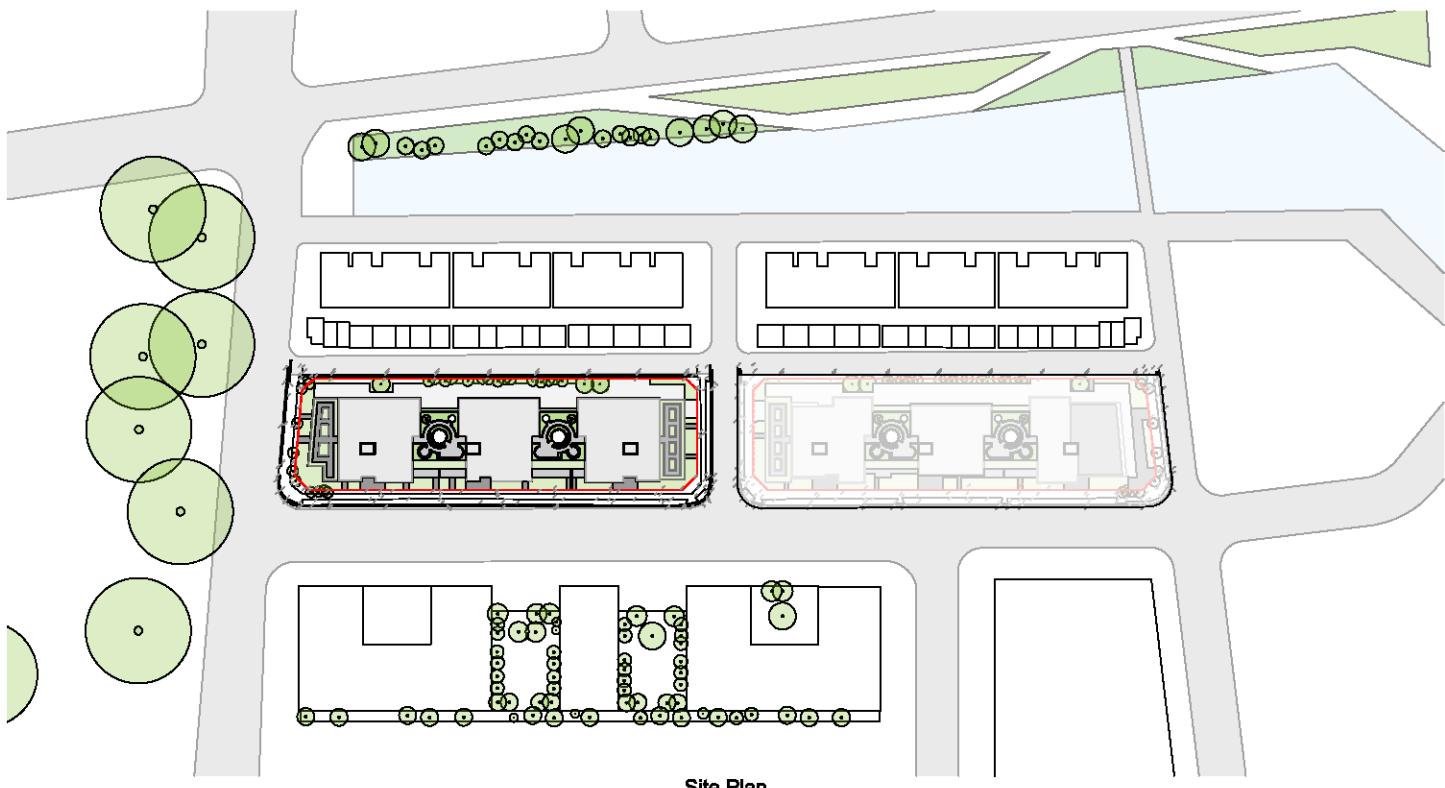
Project Name: Lord Sheffield Circuit Penrith
Project Number: 12116
Project Address: Lot 210 & 211 Lord Sheffield Circuit
Penrith, NSW 2075

Drawn By: March 2019
Checked By: 1:600 @ A1
Date: Scale

Drawing Series: Calculations
Drawing Name: C.O.S Solar Access _ Lot 211

Drawing Number: DA607
Revision: A

D K O



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Project Name
Lord Sheffield Circuit Penrith
Project Address
Lot 210&211 Lord Sheffield
Circuit
Penrith, NSW 2075
Urban Property Group
Date

Project Number 12116
Drawing Name Notification Plan
Scale
Drawing No. DA700
Revision